PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Pine Hill Farms Model-B

LIST OF DRAWINGS

PROJECT INFORMATION

THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW SINGLE FAMILY, TWO STORY FRAME DWELLING.

	EXISTING	PROPOSED
NUMBER OF BEDROOMS:	0	4
AREA OF LARGEST FLOOR:	1,941 Sq. Ft.	
OCCUPANCY: 1 PER 200 Sq. Ft.		
FIRST FLOOR:	1,941 Sq. Ft.	1941 / 200= 9
SECOND FLOOR:	972 Sq. Ft.	972 / 200= 4
TOTAL OCCUPANCY:		13 OCCUPANTS

LIST OF CODES:

2021 INTERNATIONAL BUILDING CODE, NJ EDITION
2021 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION
2021 INTERNATIONAL MECHANICAL CODE
2020 NATIONAL ELECTRIC CODE
2021 INTERNATIONAL FIRE CODE
2021 I.E.C.C. NJ EDITION (RESIDENTIAL)
2021 NATIONAL STANDARD PLUMBING CODE
2021 INTERNATIONAL FUEL GAS CODE
UCC NEW JERSEY REHABILITATION SUBCODE NJAC 5:23-6

CONSTRUCTION DATA

CONSTRUCTION TYPE:	5B
CONSTRUCTION CLASS:	III
USE GROUP:	R-5
CONSTRUCTION VOLUME:	61,316 Cu. Ft.
FIRST FLOOR AREA:	1,941 Sq. Ft.
SECOND FLOOR AREA:	972 Sq. Ft.
TOTAL LIVING AREA:	2,913 Sq. Ft.
LAND AREA DISTURBED:	3,609 Sq. Ft.
BUILDING HEIGHT:	31'10½"

REVISIONS

Number	Date	Description

NOT VALID WITHOUT ARCHITECTS SIGNATURE & EMBOSSED SEAL

BABULA ARCHITECTURE LLC
976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
NJ - Lic. No: 19812 | NY - Lic. No: 038421-1

Block: 0 Lot: 0

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 1 of 12
Sheet: A1.0

PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

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976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
NJ - Lic No.: 19812
NY - Lic No.: 038211

Block: 0
Lot: 0

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 2 of 12
Sheet: A1.1

PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

Generated by RES*check-Web* Software

Compliance Certificate

Project 22-095 Pine Hill Farms Model-B

Energy Code:	**2018 IECC**
Location:	**Pike County, Pennsylvania**
Construction Type:	**Single-family**
Project Type:	**New Construction**
Conditioned Floor Area:	**2,898 ft2**
Glazing Area	**10%**
Climate Zone:	**5 (6499 HDD)**
Permit Date:	
Permit Number:	

Construction Site: Milford, PA 18337

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **3.0% Better Than Code** Maximum UA: **399** Your UA: **387**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,864	38.0	0.0	0.030	0.026	56	48
Wall: Wood Frame, 16" o.c.	3,309	21.0	0.0	0.057	0.060	167	176
Door: Solid Door (under 50% glazing)	61			0.270	0.300	16	18
Door 1: Glass Door (over 50% glazing)	84			0.270	0.300	23	25
Window: Vinyl Frame	230			0.270	0.300	62	69
Floor: All-Wood Joist/Truss	30	38.0	10.0	0.021	0.033	1	1
Floor 1: All-Wood Joist/Truss	1,864	30.0	0.0	0.033	0.033	62	62

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in RES*check* Version : REScheck-Web and to comply with the mandatory requirements listed in the RES*check* Inspection Checklist.

Name - Title Signature Date

Project Title: 22-095 Pine Hill Farms Model-B
Data filename:

Report date: 10/05/22
Page 1 of 1

REVISIONS

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MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
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NJ - Lic. No: 19612 NY - Lic. No: 038214

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MILFORD, PA 18337

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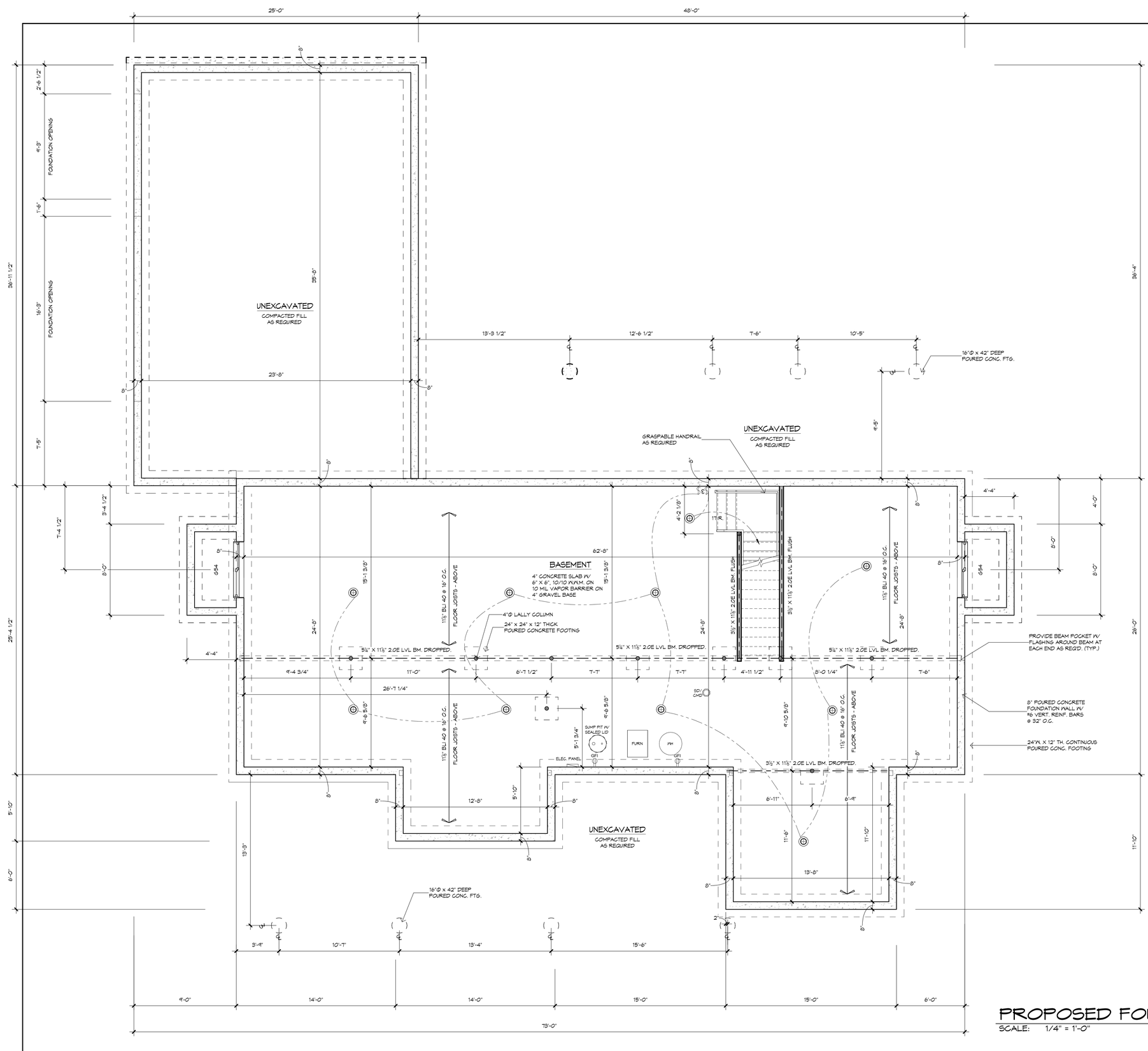
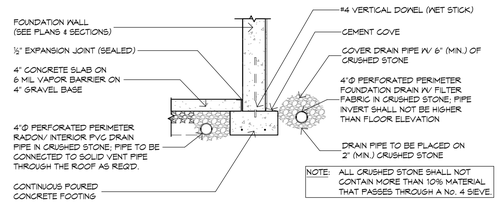
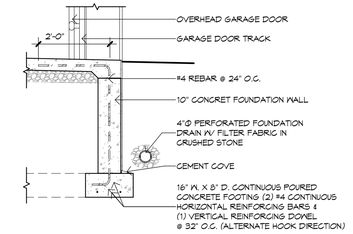
Job No: 22-095
Date: 5-15-24
Sheet No: 3 of 12
Sheet: A1.2





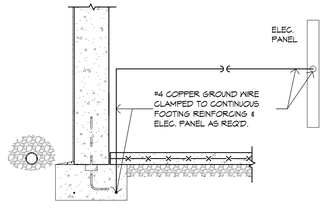
FOUNDATION DRAIN DETAIL

SCALE: 1/2" = 1'-0"



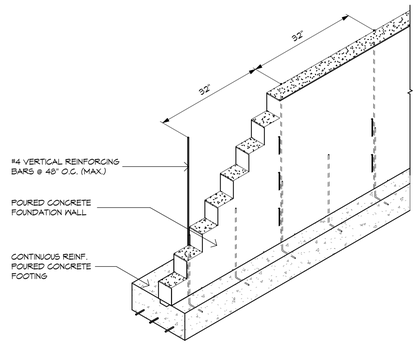
GARAGE SLAB DETAIL

SCALE: 1/2" = 1'-0"



GROUNDING DETAIL

SCALE: 1/2" = 1'-0"



VERTICAL REINFORCING DETAIL

SCALE: 3/8" = 1'-0"

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

Number	Date	Description

NOT VALID WITHOUT ARCHITECTS SIGNATURE & ASSOCIATES

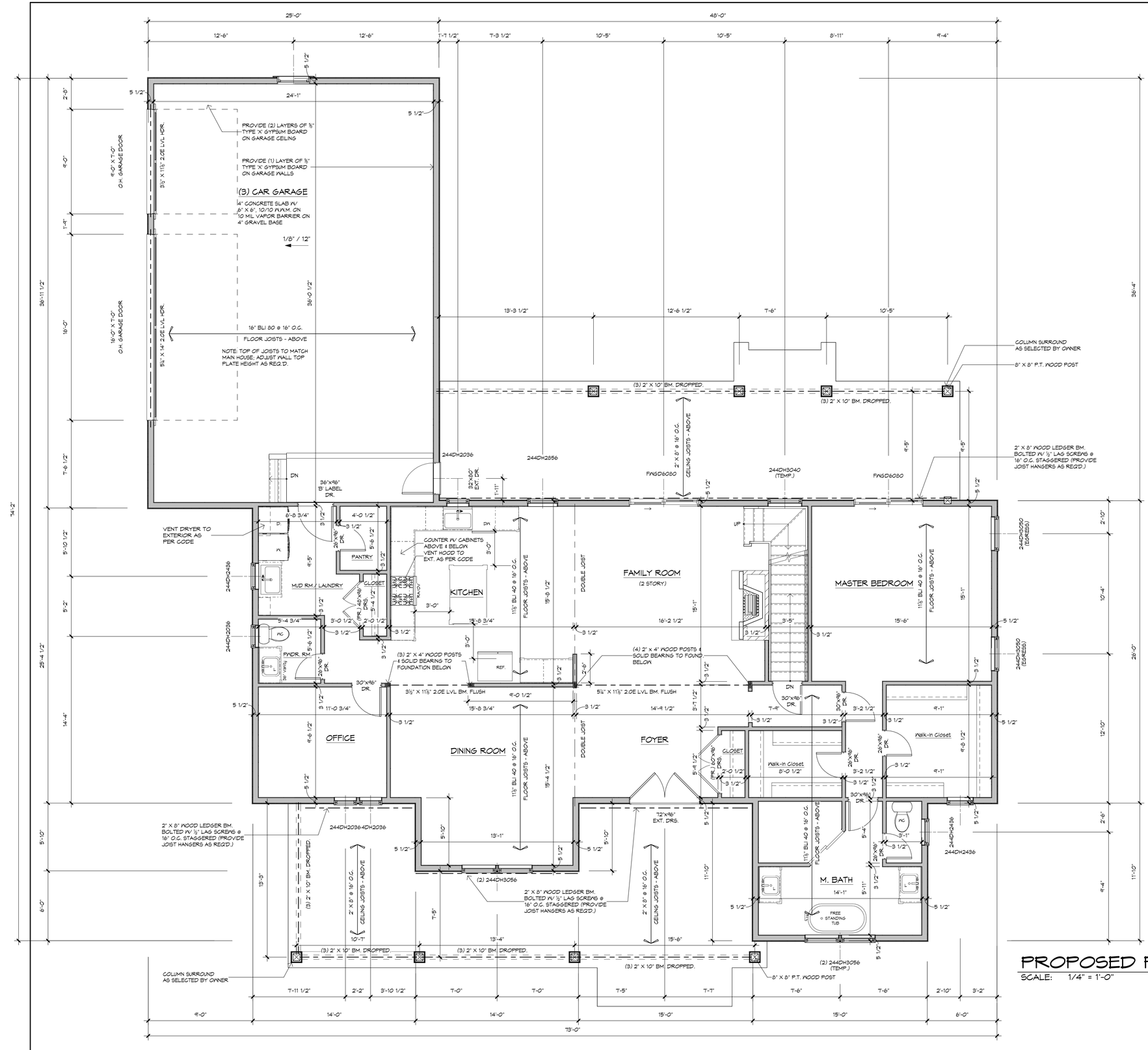
976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
N.J. - Lic No: 19812 | N.Y. - Lic No: 038421-1

BABULA ARCHITECTURE LLC

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

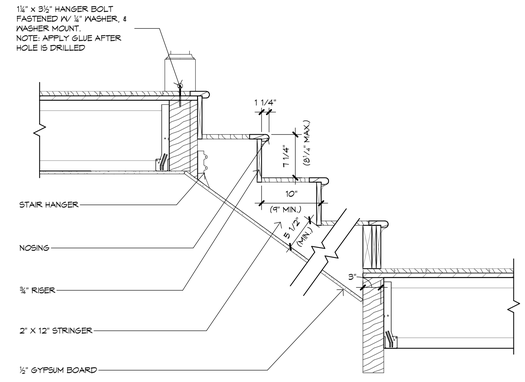
Block: 0
Lot: 0

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 4 of 12
Sheet: A2.0



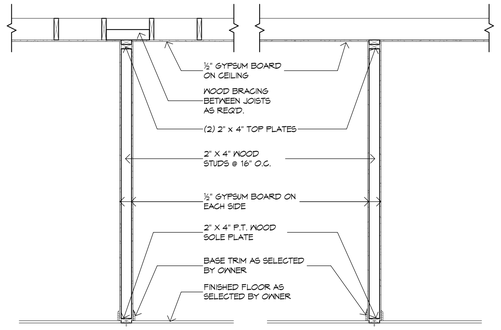
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



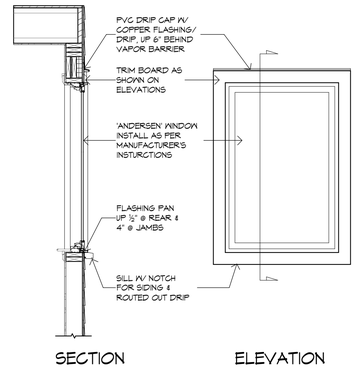
STAIR DETAIL

SCALE: 1" = 1'-0"



TYPICAL INTERIOR WALL PARTITION

SCALE: 1/2" = 1'-0"



WINDOW DETAIL

SCALE: 1/2" = 1'-0"

LIVING SPACE

	PROPOSED
PROPOSED FIRST FLOOR:	1,941 Sq. Ft.
PROPOSED SECOND FLOOR:	972 Sq. Ft.
TOTAL LIVING SPACE:	2,913 Sq. Ft.
GARAGE:	896 Sq. Ft.

REVISIONS

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976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
NJ - Lic No. 19812 | NY - Lic No. 038211 | Block: 0 | Lot: 0

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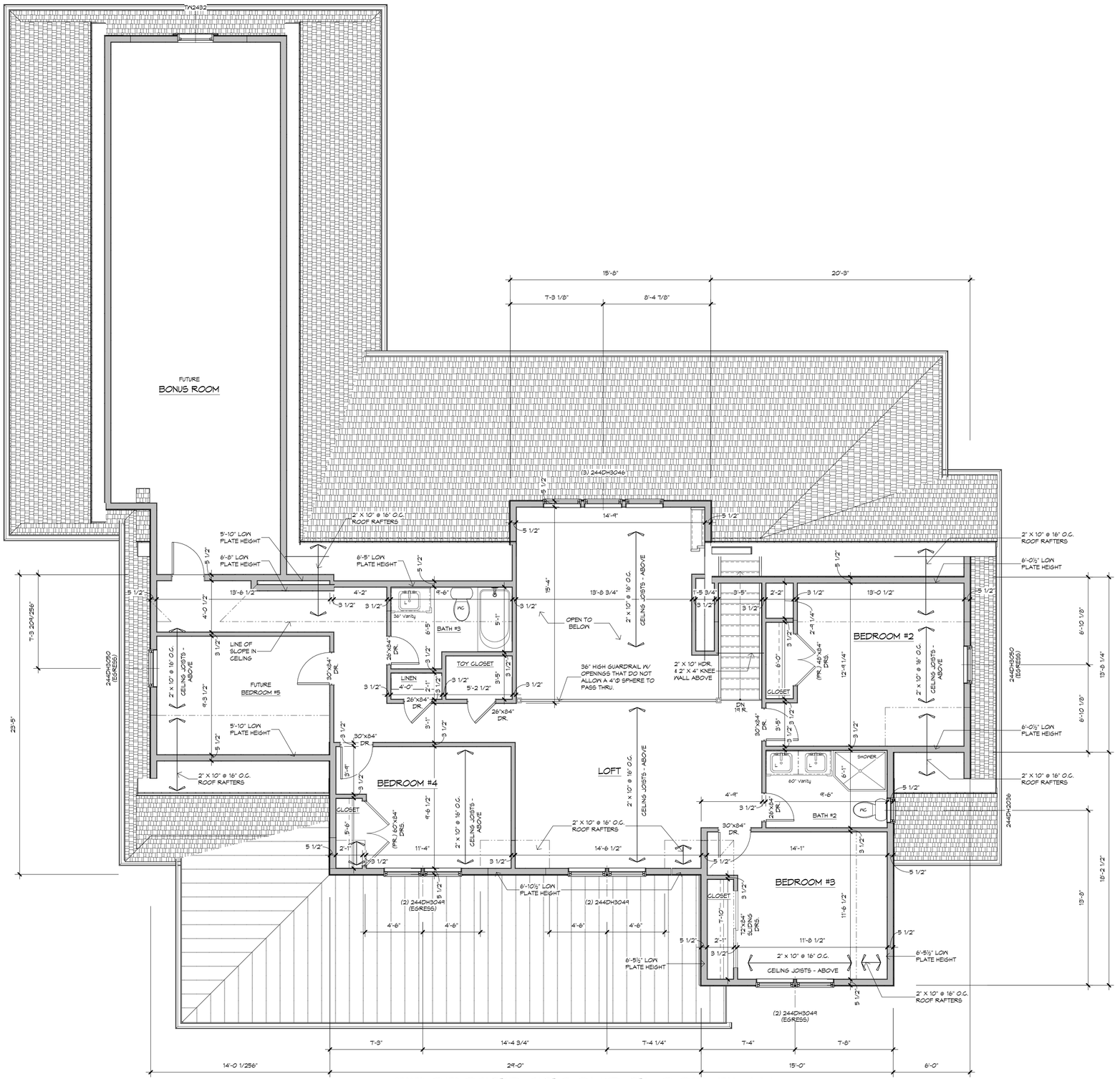
Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 5 of 12
Sheet: A2.1



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVING SPACE

	PROPOSED
PROPOSED FIRST FLOOR:	1,941 Sq. Ft.
PROPOSED SECOND FLOOR:	972 Sq. Ft.
TOTAL LIVING SPACE:	2,913 Sq. Ft.
GARAGE:	896 Sq. Ft.

REVISIONS

Number	Date	Description

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BABULA ARCHITECTURE LLC

976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE - 973 - 998 - 4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
N.J. - Lic. No.: 19812 N.Y. - Lic. No.: 038421-1

Block: 0 Lot: 0

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
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Sheet No: 6 of 12
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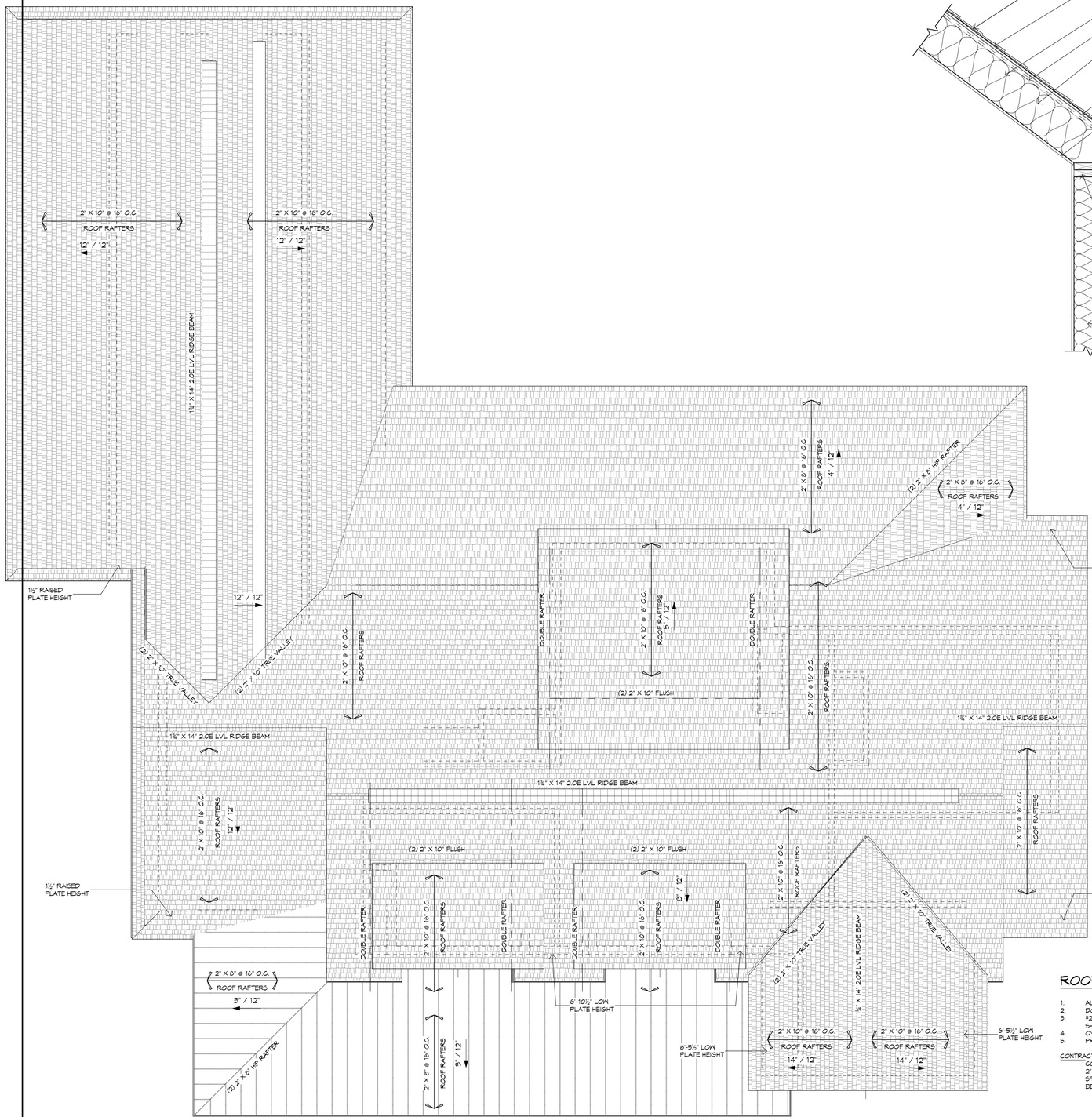
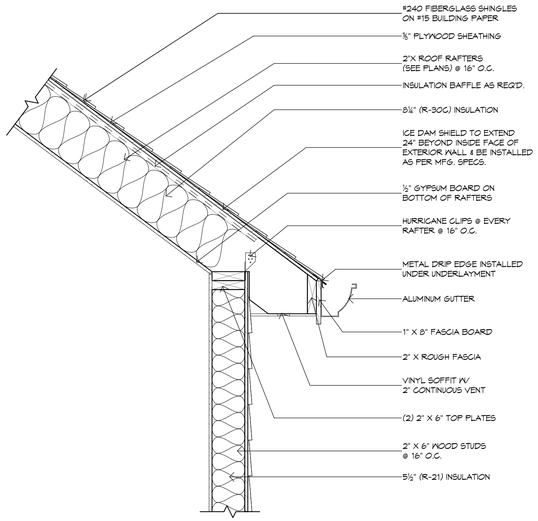
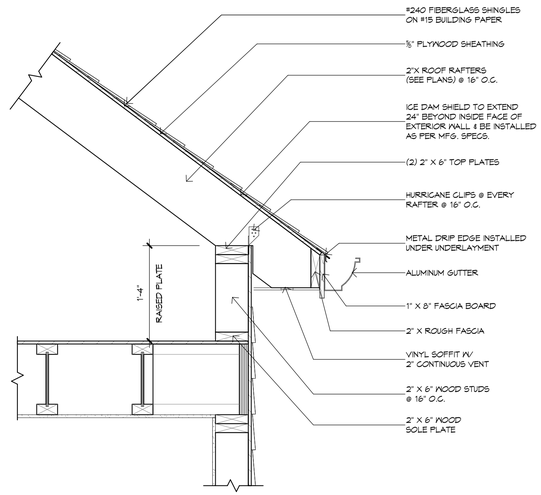


PROPOSED ROOF PLAN

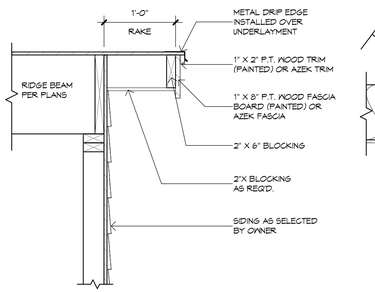
SCALE: 1/4" = 1'-0"

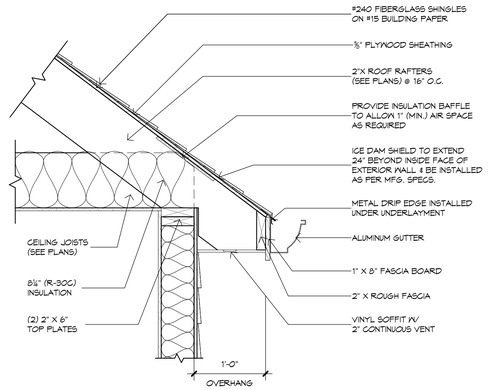




RAISED PLATE DETAIL

SCALE: 1" = 1'-0"





RAKE & EAVE DETAIL

SCALE: 1" = 1'-0"

ROOF CONSTRUCTION

1. ALL HIPS, VALLEYS & RIDGES TO BE 2" X 12"S UNLESS OTHERWISE NOTED.
2. DOUBLE MEMBERS BELOW DOWN LOAD POSTS.
3. #240 FIBERGLASS SHINGLES ON #15 BUILDING PAPER ON ⅜" PLYWOOD SHEATHING ON RAFTERS AS SHOWN.
4. OVERHANGS & GUTTERS AS PER ELEVATION
5. PROVIDE 2" X 6" @ 32" O.C. COLLARS & 2" X 4" STRONGBACKS AS REQ'D.

CONTRACTOR NOTE: IF FIBERGLASS BATT INSULATION IS SELECTED BY OWNER, CONTRACTOR TO PROVIDE CONTINUOUS RIDGE VENT & CONTINOUS 2" SOFFIT VENT AT ALL ROOF AREAS. IF OWNER SELECTS ICYNENE SPRAY FOAM INSULATION RIDGE VENT & SOFFIT VENT SHOULD NOT BE INSTALLED.

NOTE: HORIZONTAL RAFTER SPANS BEYOND 16'-0" & CATHEDRAL CEILINGS TO BE 2" X 10" @ 16" O.C. RAFTERS W/ 8¼" (R-30C) INSULATION.

REVISIONS

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Job No: 22-095
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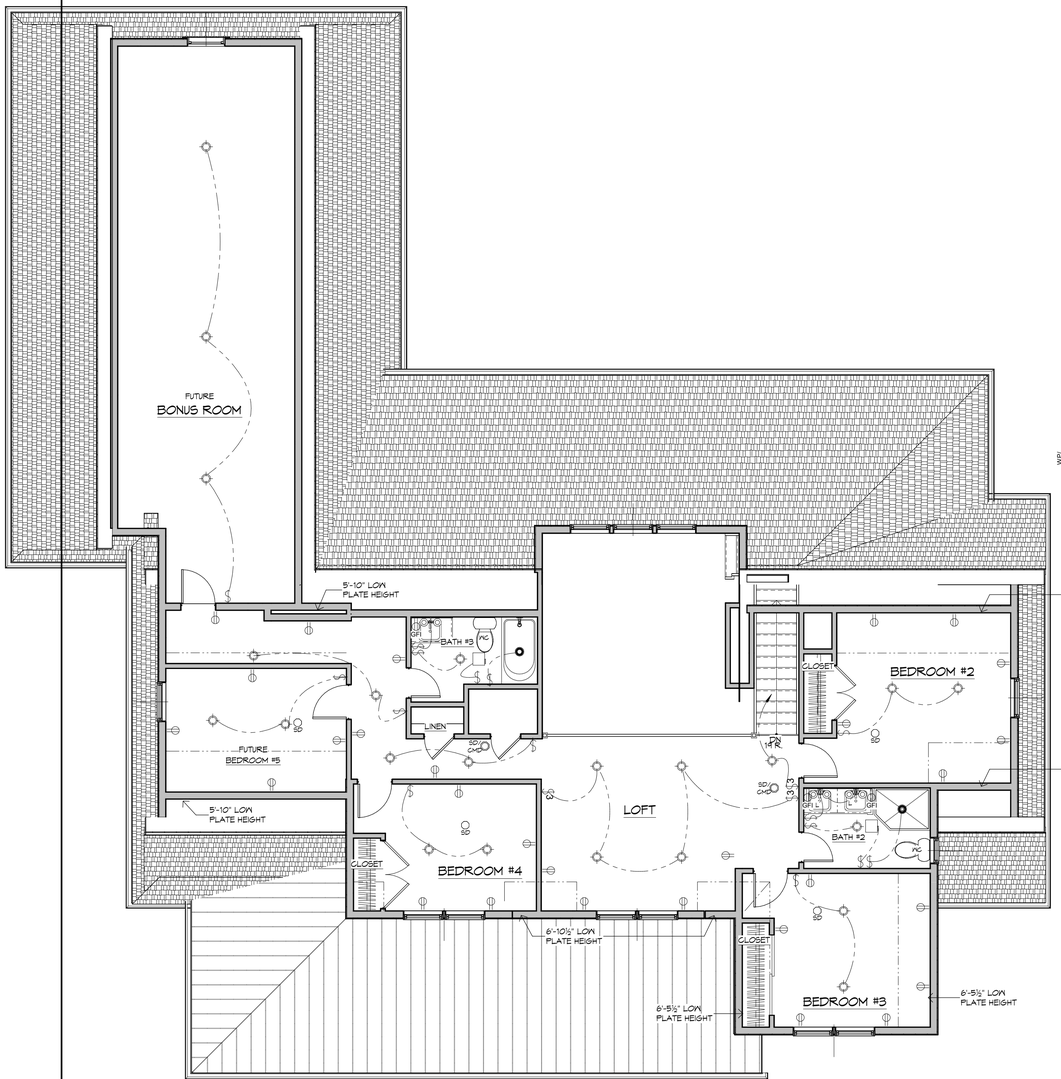
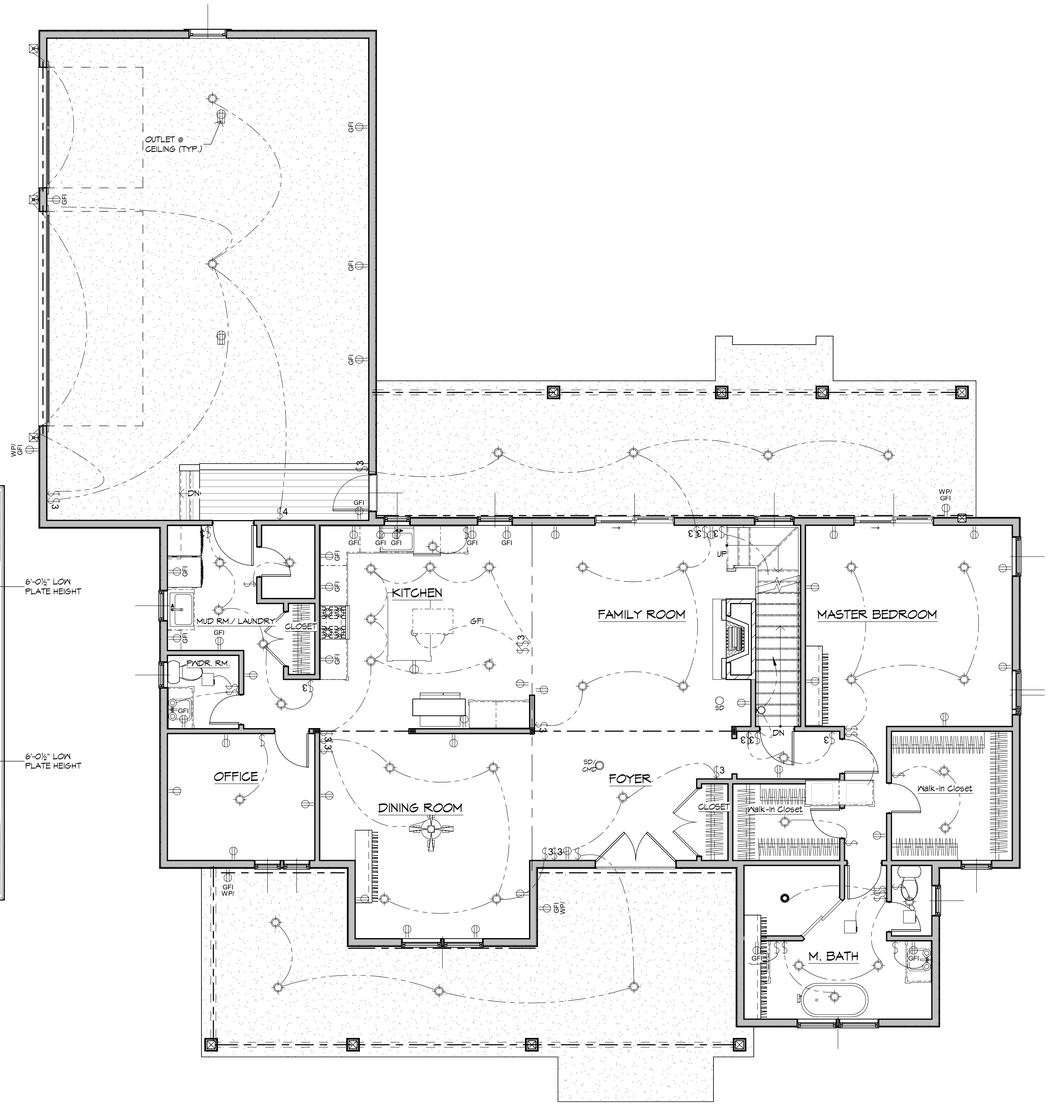
Sheet No: 7 of 12
Sheet: A2.3



SECOND FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- SD — SMOKE DETECTOR; HARDWIRED & INTERCONNECTED
- SD/CMD — SMOKE DETECTOR & CARBON MONOXIDE DETECTOR; HARDWIRED & INTERCONNECTED
- WALL MOUNTED (2) BULB LIGHT FIXTURE
- CHANDELIER STYLE LIGHT FIXTURE
- LED RECESSED LIGHT FIXTURE
- WALL MOUNTED EXTERIOR LIGHT FIXTURE
- PENDANT STYLE LIGHT FIXTURE
- VAPOR RETARDANT LIGHT FIXTURE
- WALL MOUNTED SINGLE LIGHT FIXTURE
- DUPLEX OUTLET
- GFI — GROUND FAULT INTERRUPT DUPLEX OUTLET
- WP/GFI — WEATHER PROOF GROUND FAULT INTERRUPT DUPLEX OUTLET
- SINGLE POLE SWITCH
- $_3 — THREE WAY SWITCH
- $_4 — FOUR WAY SWITCH
- EXHAUST FAN
- ELECTRICAL PANEL

REVISIONS

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Lot: 0

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Job No: 22-095
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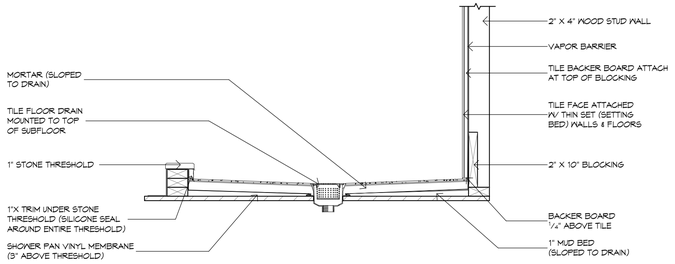
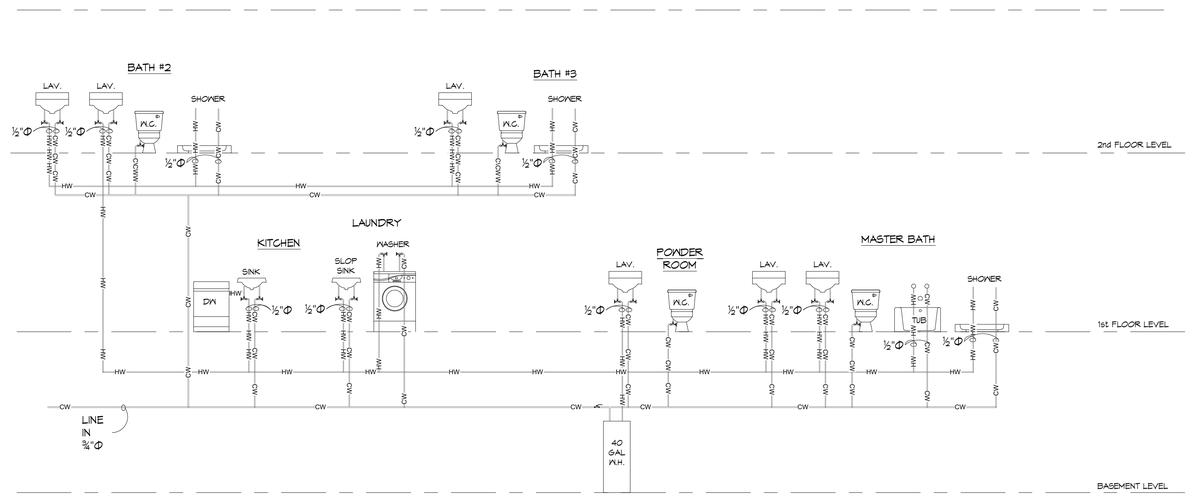
Sheet No: 8 of 12
Sheet: A3.0



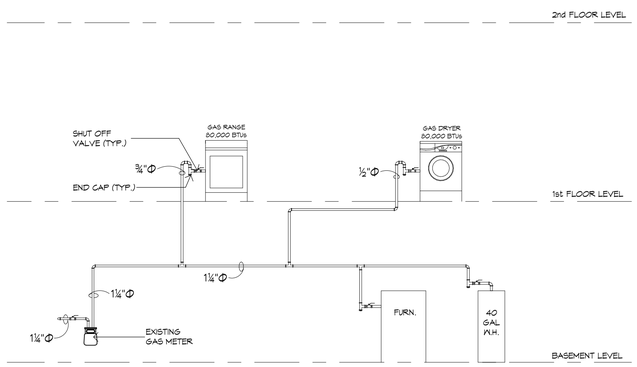
SHOWER PAN DETAIL

SCALE: 1" = 1'-0"



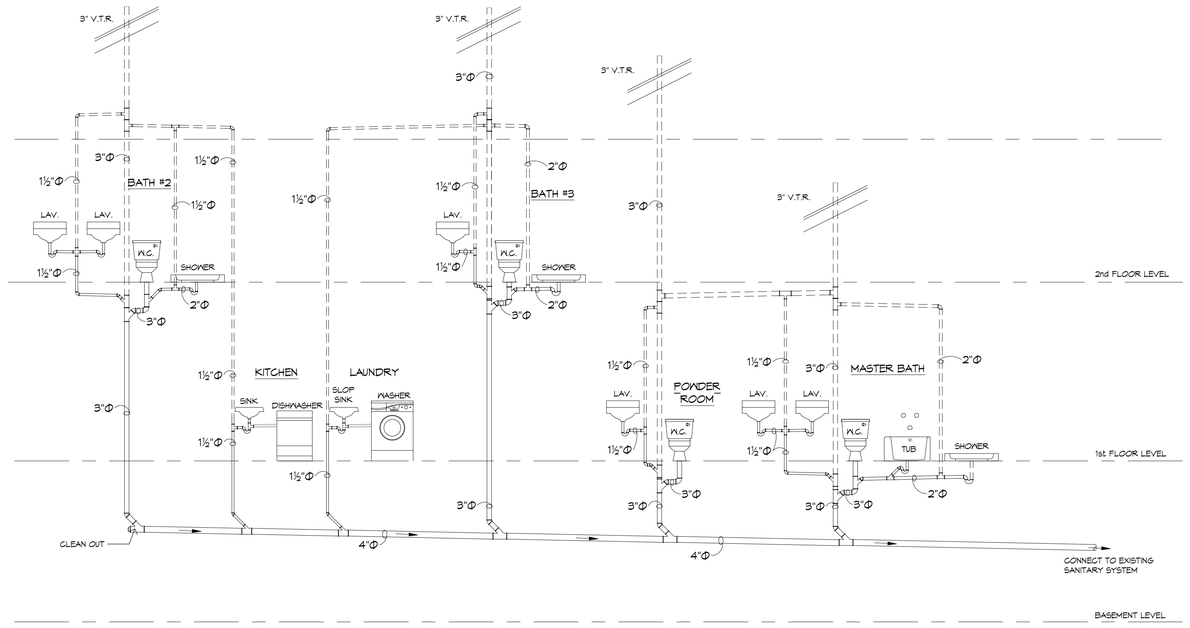
PLUMBING SUPPLY RISER DIAGRAM

SCALE: 1/4" = 1'-0"



GAS RISER DIAGRAM

SCALE: 1/4" = 1'-0"



PLUMBING RISER DIAGRAM

SCALE: 1/4" = 1'-0"

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Block: 0 Lot: 0

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Job No: 22-095
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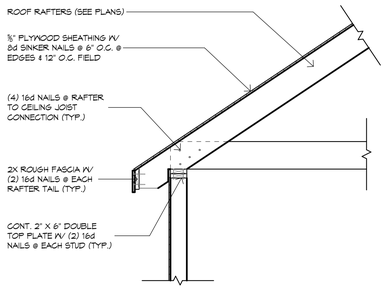
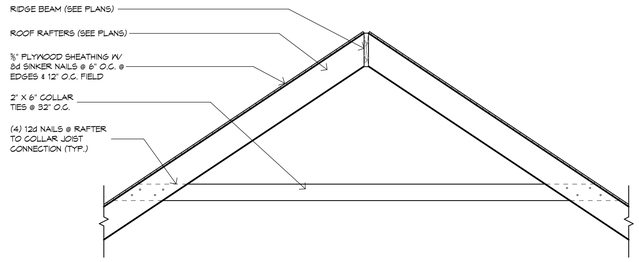
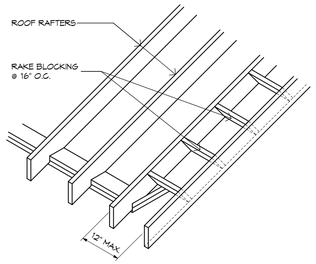
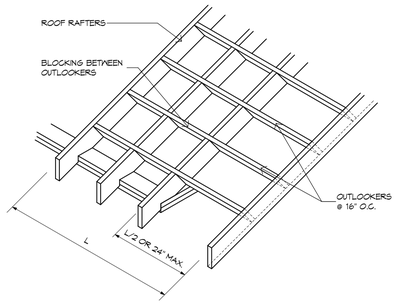
Sheet No: 9 of 12
Sheet: A3.1



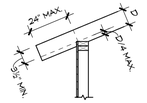




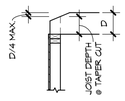
RAKE OVERHANG - BLOCKING



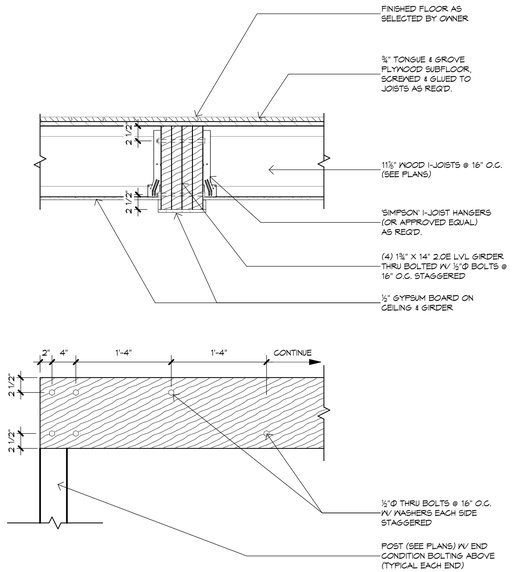
RAKE OVERHANG - OUTLOOKERS



RAFTER NOTCH

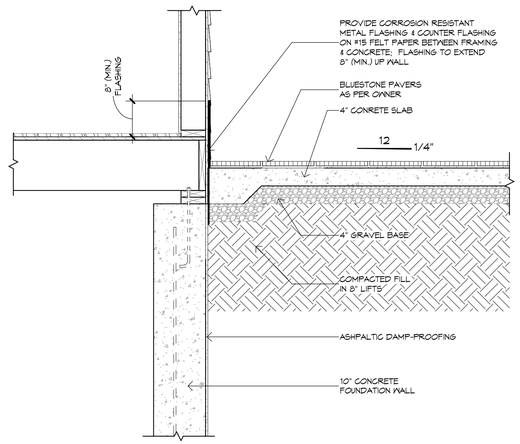


CEILING JOIST TAPER CUT



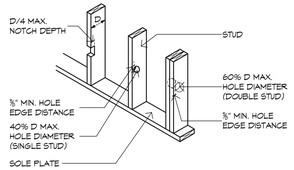
LVL BEAM DETAIL

SCALE: 1" = 1'-0"

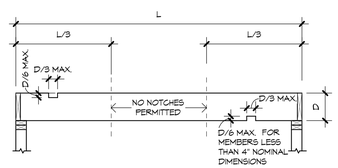


PORCH DETAIL

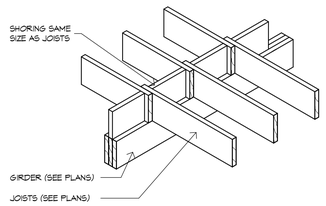
SCALE: 3/4" = 1'-0"



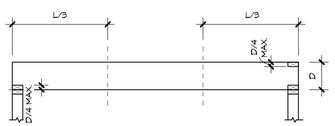
STUD - NOTCHING & DRILLING



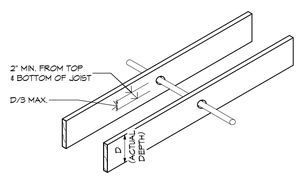
FLOOR JOISTS - CENTER CUTS



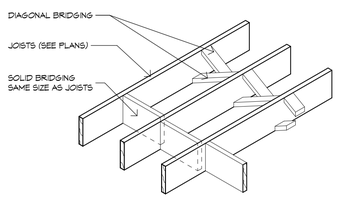
FLOOR JOISTS OVER GIRDER



FLOOR JOISTS - END CUTS



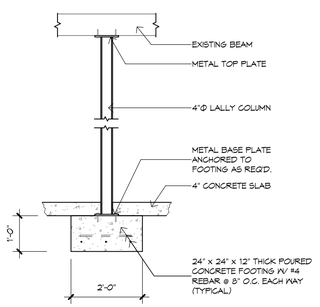
FLOOR JOISTS - DRILLING



BRIDGING OPTIONS OF JOISTS

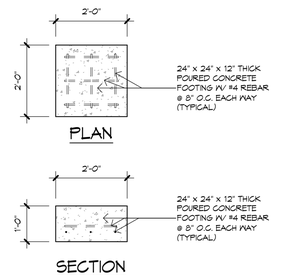
DIMENSIONAL FRAMING DETAILS

SCALE: 1/2" = 1'-0"



LALLY COLUMN DETAIL

SCALE: 1/2" = 1'-0"



FOOTING SECTION

SCALE: 1/2" = 1'-0"

REVISIONS

Number	Date	Description

NOT VALID WITHOUT ARCHITECTS SIGNATURE & RAISED SEAL

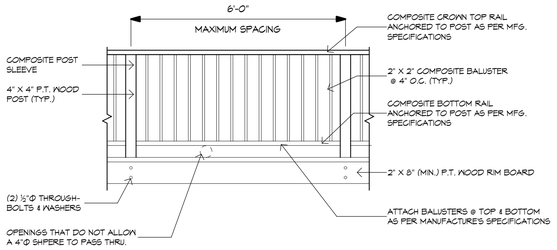
976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
N.Y. - Lic. No.: 028421-1
N.J. - Lic. No.: 19612

Block: 0 Lot: 0

BABULA ARCHITECTURE LLC

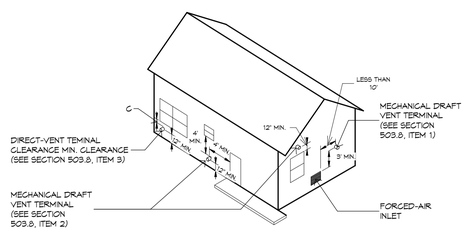
Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 10 of 12
Sheet: A4.0



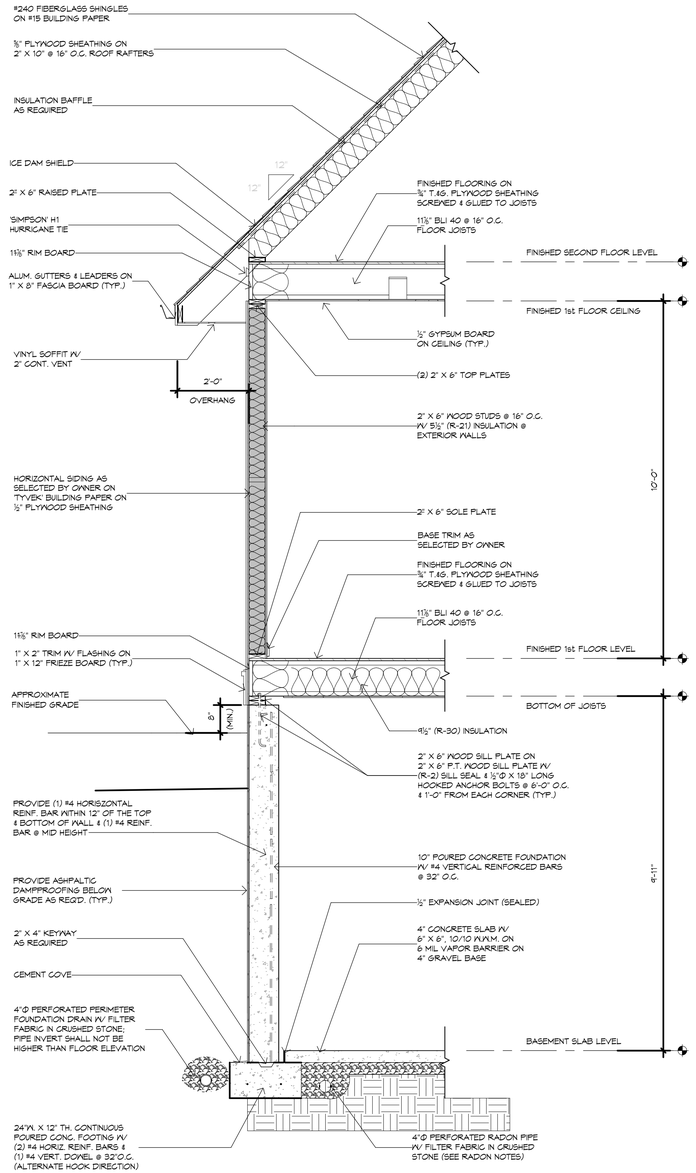
DECK GUARDRAIL DETAIL

SCALE: 1/2" = 1'-0"



RAKE & EAVE DETAIL

SCALE: 1/8" = 1'-0"



TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"

REVISIONS

Number	Date	Description

NOT VALID WITHOUT ARCHITECTS SIGNATURE & EMBOSSED SEAL

976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM
N.J. - Lic. No.: 19812 N.Y. - Lic. No.: 036421-1
Block: 0 Lot: 0

BABULA ARCHITECTURE LLC

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 11 of 12
Sheet: A4.1

GENERAL NOTES

1.0 GENERAL CONDITIONS

1.1 The Architect will not be held responsible where construction deviates from these drawings or written recommendations.

1.2 The following, unless provided for in these drawings, are to be furnished by the Owner:

A. Site grading, drainage, utilities, building location, and construction outside of building proper.

B. Selection of interior material finishes, cabinetry and hardware. (See Finishes).

C. Standards of quality and accepted manufacturers for prefabricated items.

D. Design of heating, plumbing and electrical plans and coordination of same in construction, unless shown on plans to be otherwise.

1.3 All construction must conform to accepted good practice as defined by the latest edition of the State of New Jersey Uniform Construction Code, IRC 2018 NJ Edition and the F.H.A. minimum property standards. All are readily available to the trades. All construction shall comply with all Local, State, Municipal & Government ordinances and codes of all authorities having jurisdiction whether or not shown on drawings.

1.4 All construction to meet or exceed the latest edition of NJ Rescheck.

1.5 All stairs and railings must conform to the code in regard to riser height, tread depth and construction.

1.6 The contractor shall visit the premises and shall have satisfied himself of all existing conditions and shall be responsible to supply all material and labor to carry out the intent of the drawings. Any questions, misinterpretations, deviations, changes, errors or admissions that are discovered shall be communicated to and clarified by the architect prior to construction. All built-in work and equipment shall be measured by the Contractor or Fabricator on the job site prior to ordering or fabricating.

1.7 Contractor shall maintain liability insurance of sufficient amount to cover at least 1½ times the cost of construction. The Contractor shall also be solely responsible for all "OSHA" requirements, safety precautions and damage to the owner's or adjacent property. The owner and the architect shall remain harmless from all damages or injury arising from such work.

1.8 Contractor shall maintain site, clean and free of debris. Contractor shall remove all construction debris from site daily. Contractor to confirm all dimensions & measurements in field as required. Contractor to investigate, locate and mark all underground utilities at or near the construction site.

1.9 Contractor shall be responsible for all dumpsters required for proper maintenance of site and bear cost for same. All material delivered to the site shall be stored off ground and protected from the weather.

1.10 All products & materials to be installed as per manufacturers specifications in order to maintain full warranties. All products and materials shall be furnished by contractor "as specified" by the contract documents by trade name or otherwise. All substitutions must be submitted to the architect for approval

2.0 SITE WORK

2.1 Exact location of addition shall be determined on site by the Contractor and/or civil engineer for approval by owner, if applicable. It shall remain the responsibility of the Contractor to confirm that all setback requirements have been maintained before excavation.

2.2 Fill and grade around foundation as required. Provide four (4) inches top soil in all lawn areas affected by construction. Seed entire area covered with top soil and cover with hay.

2.3 Compact all backfill in 12" lifts. Backfill to be compacted to 95% maximum dry density in accordance with astm d-1557. Care must be taken not to damage dampproofing, waterproofing, and cmu walls.

2.4 Repair asphalt driveway as required if damaged during construction.

3.0 CONCRETE: FOUNDATIONS AND SLABS

3.1 Remove top soil, rubbish and other deleterious material from inside of building area before beginning work.

3.2 Excavation for all footings shall be made to the depth of a minimum 3'-0" below finished grades, or deeper if local conditions require.

3.3 Footings are designed for and shall be placed on firm undisturbed earth with a minimum bearing capacity of 3000 PSF. Any disturbed earth used for bearing shall be compacted and tested for 95% Proctor as verified by a NJ licensed soils engineer.

3.4 Construct footings 4" wider on each side of foundation wall above, and a minimum of 8" thick - 6" wide, and 12" thick for chimneys. Add 6" to overall width of footings if they are not formed for pouring.

3.5 Construct concrete floor slabs on grade: 4" thick over Visqueen vapor barrier and 4" thick minimum porous fill. Welded wire fabric shall conform to requirements of ASTM A 496 and A497 for deformed welded wire for concrete reinforcement. Place all deep fills under concrete slabs in 12" thick layers compacted to minimum ASHO density of 95%. Do not pour slabs on grade in sections exceeding 1600 SF at one time.

3.6 Where footings are stepped, bottoms shall not be sloped more than one foot vertically for each two feet horizontally.

3.7 All concrete used shall be of no less than 3000 psi at 28 days strength, stone aggregate ready mix. Portland cement shall conform to the requirements of ASTM C150, type1, 2 or 3. Mixing shall be performed in accordance with manufacturer's instructions.

4.0 MASONRY

4.1 Concrete masonry units shall conform to ASTM C90. Masonry mortar shall be type M mortar, non-staining conforming to ASTM C270. Fill all joints with mortar as units are laid.

4.2 Lay up all masonry units in a running bond and in a full bed of mortar.

4.3 Construct foundation walls of concrete blocks with bottom course filled with concrete and keyed to footing below, and a minimum of 4" thick solid cap under framing member. All corner blocks shall be filled solid. No cinder type masonry block units shall be accepted in exterior or bearing walls. All concrete block masonry walls shall be reinforced with dur-o-wall at every second course. Do not exceed 6'-0" of fill for unreinforced walls.

4.4 Shoring and bracing of foundation walls shall be employed until full dead load of floor platform is applied to walls.

4.5 Protect newly laid masonry from exposure to precipitation, excess drying, freezing, soiling, and other harmful elements.

4.6 Provide 8" thick solid brick or block masonry units under all wood or steel girder ends. Beam pocket to be minimum 4" x 8" solid bearing filled solid with concrete. Pilaster to be minimum 1'-4" x 1'-4" integral masonry filled solid with concrete.

4.7 Dampproof hollow block walls with ½" thick coat of Portland cement parging applied to exterior face from cove to cap, and apply two coats of bituminous dampproofing over parging or concrete below grade.

4.8 Provide prefabricated reinforced concrete lintels of required thickness for all masonry openings not exceeding 10'-0" in length. Steel angles of minimum 6" x 3½" x 5/16" in size shall be used for brick veneer support. All lintels shall bear 8" minimum at each end, and block to be filled solid with (4) #5 bars at bearing points unless otherwise detailed on drawings.

4.9 All reinforcing bars to be 60ksi steel and shall conform to ASTM A615 grade 60. Minimum splice length is 40 bar diameters unless noted otherwise. Install rebar grounding and bonding clamp and ground wire sized as required and installed as per manufacturer's recommendations and DCA bulletin 2-02.

4.10 Provide ½" diameter anchor bolts or galvanized straps for wood plates as described in Section 5.

5.0 WOOD FRAMING

5.1 All lumber and its fastenings shall conform to the National Design Specification recommended by the N.L.M.A., and code standards listed under general conditions.

5.2 All lumber shall bear official grade or trademark of association under those rules lumber is graded, or shall be accompanied by a Certificate of Inspection, issued by that association, stating that the material complies with Specifications as to species and grade. All lumber shall be well seasoned, sound, and shall have a moisture content not to exceed 15%, unless specified otherwise.

5.3 All wood framing shall be no. 2 grade or better with a minimum Fb=1,200 psi and E=1,600,000 PSI. Solid wood bridging shall be installed centered in joist spans exceeding 8'-0".

5.4 All wood connections shall meet the minimum requirements of the fastening schedule table in the IBC code, table 2304.10.1.

5.5 All exposed wood framing spaces of floor, ceiling, and roof shall be adequately fireblocked and draftstopped with approved non-combustible materials as noted in section 718 of the IBC and R302.11-R302.12 of the IRC building codes.

5.6 Parallam PSL beams shall conform to the APA- engineered wood requirements and shall have a minimum Fb=2,900 psi and E=2,000,000 psi.

5.7 Microllam LVL beams shall conform to the APA- engineered wood requirements and shall have a minimum Fb=2,600 psi and E=1,900,000 psi.

5.8 All engineered floor joists, rim boards, and parallams shall be installed in accordance with manufacturer's recommendations and requirements.

5.9 Framing connectors and ties such as manufactured by Simpson Strong-Tie or approved equal shall be used to reinforce floor joist/header beam connections and rafter/top plate connections. Framing connectors shall be galvanized as per ASTM A653, and installed as per manufacturer's requirements.

5.10 All exterior wall sheathing and subflooring shall be of exterior grade plywood type C-D Douglas fir plywood, agency graded. Subfloor shall be tongue and groove and glued and nailed to joists. and shall be installed continuously over two or more spans with strength axis perpendicular to supports.

5.11 Set all floor joists, ceiling joists and wood beams with natural camber up. Ends lapped over bearing points shall be securely spiked together. Provide double floor joists under all partitions running parallel above and at all floor penetrations. Provide double rafters at hips and valleys and at all roof penetrations.

5.12 Follow manufacturer's recommendations and specifications exactly for all prefabricated wood beams and joists installation. Protect all materials on site as noted by manufacturer.

5.13 Provide standard wood or metal cross bridging within all floor wood joist construction at a maximum 8'-0" on center, and solid continuous blocking at joist ends. Provide strong backs above flat ceiling. Provide collars and hangers as required.

5.14 Anchor sills and plates to masonry walls below with a minimum of ½"Ø x 18" long steel hooked bolts or galvanized straps, spaced at a maximum of 6'-0" on center 1'-0" from each end. Bolts shall be set solid in concrete. Provide a nut & washer on each bolt, plate washers at braced walls shall be a minimum of 0.299" thick x 3" x 3" as per section R602.11.1 of the IRC. Provide termite shield or sill seal under wood plates set over masonry as per section R317 & R318 of the IRC.

5.15 Provide headers for openings in frame walls as follows:

For openings from 2' to 3', use 2 - 2" x 6".
For openings from 3' to 5', use 2 - 2" x 8".
For openings from 5' to 7', use 2 - 2" x 10".
For openings from 7' to 8', use 2 - 2" x 12".

5.16 Spike headers together with spacers between 2"x's and, for openings 8' in length and over, provide double studs under both bearing ends. All gluelams and microlams shall be a minimum of Fb=2,400. All microlams shall be glued and spiked together. Any header or girder with a span greater than 5'-0" shall have a minimum of 4" bearing at each end.

5.17 Wood stairs shall be constructed as follows:

Stringers: Clear softwood with effective depth of minimum 5½".

Treads: Hardwood for finished stairs, soft wood for basement stairs (9" minimum + 1" nosing=total 10" width)

Riser: Softwood 8¼" height, maximum

5.18 Provide 36" high guardrails (unless otherwise noted on plans) with 4" maximum openings on all decks, balconies, raised platforms and stairs 30" above grade. Provide graspable handrails of 1¼"- 2¼"Ø @ 30"-38" high on at least one side of each stairs with more than three risers. All railings shall be designed to withstand a simultaneous vertical and horizontal force of 200 PLF applied at the top of the railing.

5.19 All required guardrails and handrails shall be designed and constructed in accordance with Sections 312 of the IRC & Section 1607.8.1 of the IBC without exceeding the allowable design working stresses of the materials, anchorage and connected devices used.

5.20 All drilling in floor joists and wood beams for electrical wires, plumbing lines, etc., shall be made at its center line (neutral axis) or above it. If any wooden member should be drilled below neutral axis, care must be taken not to affect its structural strength. If, however, any damage to such structural member should occur, it must be properly reinforced with additional wood members as necessary.

5.21 Floor Loading

Live Load		40 #/S.F.
Finish & Sub Floor		3 #/S.F.
Ceiling		2 #/S.F.
Collateral		3 #/S.F.
Joists		2 #/S.F.
Total	=	50 #/S.F.

5.22 Bending Stresses: Joists & Rafters -Doug-Fir, FB = 1,400 #/Sq.Inch
Studs -Hem.-Fir, FB = 725 #/Sq.Inch

5.23 All structural wood members exposed to weather or in contact with masonry shall be ACQ (Alkaline Copper Quaternary) Lumber or approved equal. All fasteners (hangers, anchors, nails etc.) to be hot dipped galvanized, stainless steel, or triple coated zinc polymer. No wolmanized wood is to be used. No aluminum flashing to come in contact with ACQ Lumber. Copper flashing is acceptable.

5.24 Adequate temporary support shall be constructed adjacent to locations of bearing wall removals.

6.0 STEEL

6.1 The contractor shall submit steel shop drawings to be approved by architect before construction.

6.2 The steel contractor is responsible for confirming and correlating all quantities and dimensions, selecting fabrication processes and techniques of construction, adequacy of connections, coordinating his work with that of all other trades, and performing his work in a safe and satisfactory manner.

6.3 All structural steel shall conform with ASTM A36 specifications.

6.4 Steel lally columns shall conform to the requirements of ASTM A53, Grade B

6.5 Tube steel for columns shall conform to the requirements of ASTM A500 Grade B.

6.6 All steel bolts shall conform to ASTM A307. Nuts shall conform to the requirements of ASTM A563. Washers shall conform to the requirements of ASTM F436. All bolts, nuts and washers used as exterior connections shall be galvanized in accordance with ASTM A153.

6.7 All shop connections shall be high-strength bolted or welded unless otherwise noted on drawings.

6.8 All field connections shall be made with high-strength bolts unless otherwise noted on the drawings.

6.9 All bolts shall be ¾" diameter unless otherwise noted on drawings.

6.10 All high-strength bolts shall be A325-N type unless other wise noted on drawings.

6.11 All columns shall be furnished with cap plates and base plates of sizes called for and shall be shop welded.

6.12 All welding shall be in accordance with the latest edition of the "Structural Welding Code" as published by the American Welding Society.

7.0 THERMAL AND MOISTURE PROTECTION

7.1 All exterior walls and roofs shall be insulated with foiled or kraft back fiberglass insulation with minimum 'R' value as per 2018 IECC residential buildings (unless otherwise noted on drawings.)
Minimum R values are as follows:

Ceilings:	R-38
Windows & Doors:	U-0.35
Walls:	R-20
Floors:	R-30
Foundations:	R-10

7.2 Provide 'Tyvek' house wrap over all wall sheathing. Tape all joints. Provide #15 builders paper on all roof sheathing.

7.3 Provide exterior siding of type and style as shown on drawings or as specified by owner.

7.4 Roofing shingles shall be #240 or greater. Fiberglass roofing shingles in color and style as selected by the Owner, unless otherwise noted on the drawings.

7.5 Provide aluminum or copper flashing at all intersections of roof and exterior walls and as indicated on drawings. Provide rubberized ice dam shield at all roof eaves and valleys.

7.6 If fiberglass batt insulation is selected by owner, contractor to provide continuous ridge vent and continuous 2" soffit vent at all roof areas. If owner selects icynene spray foam insulation, ridge vent and soffit vent should NOT be installed.

7.7 Roofing contractor to confirm final locations of roof leaders prior to installation of gutters with site engineer.

7.8 Provide Visqueen vapor barrier under all slabs on grade.

7.9 Provide venting for all attic and roof areas.

7.10 Provide insulation between floor and unheated areas of R=30 minimum.

8.0 DOORS AND WINDOWS

8.1 Unless otherwise noted on plans, all interior doors shall be hollow core Masonite 6 panel colonial doors 6'-8" high.

8.2 All exterior doors shall be insulated metal, fiberglass, or solid core wood panel doors in style and width as shown by 6'-8" high.

8.3 All glass doors shall be insulated double pane tempered glass with thermal break in frame.

8.4 All window sizes are based on 'Andersen' model numbers unless otherwise noted on drawings.

8.5 All doors & windows to be installed as per manufacture's specifications as well as all doors & windows to be installed with/ formable sill flashing, house wrap tape & drip cap as per window, door & house wrap manufacturer's specifications. Installation to include proper shimming and flashing tape, in addition to manufacturer's instructions provide copper pan and head flashing at all windows and doors.

8.6 Provide standard builders hardware for all new doors; style and finish of hardware shall be as selected by the Owner.

8.7 Glazing in doors, skylights, windows at bathtubs, and windows within 18" of floors and within 24" of doors shall be tempered.

8.8 All windows are to comply with section R312 of the International Residential Code 2018 NJ Edition.

9.0 FINISHES

9.1 All gypsum board shall be ½" thick standard gypsum wall board unless otherwise noted. Garages shall be as indicated on drawings.

9.2 All gypsum board in bathrooms and wet areas shall be ½" moisture resistive wall board.

9.3 All gypsum board shall be taped and spackled, minimum of 3 coats, as per manufacturer's specification. Primed and painted 2 coats of Latex flat paint. Colors as selected by Owner.

9.4 Floors of all bathrooms shall be finished with thinset ceramic tile of color and style as selected be Owner. All tile to be installed as per National Tile Contractors Association (NTCA) specifications and recommendations.

9.5 All trim work to be stain grade in soft wood as selected by Owner.

9.6 All finishes, finished floor material as selected by Owner. Contractor to verify dimension of finished floor material with owner prior to installation of subfloor to allow for smooth transitions of finished floors.

9.7 Carpet and wall coverings are not in contract.

9.8 Contractor to submit price for cabinets and vanities as shown on plans based on a linear footage. Style and finishes of cabinets shall be as selected by the owner.

9.9 At transitions from tile to other flooring material, provide stone threshold as selected by owner.

9.10 Contractor to provide a rod and wood shelf with nose and cove edge at all clothes closets, unless otherwise noted. For all storage, linen and pantry closets contractor to provide wood shelves with nosing and cove edge at 24" AFF and every 12" vertically above or as per owner's discretion.

10.0 MECHANICAL AND ELECTRICAL

10.1 Provide and install heating system as required to service new areas. Design and layout or HVAC system to be designed by HVAC subcontractor and approved by owner. Provide zones as directed by owner. Provide air-conditioning system. The duct system shall be tested and the air leakage out of ducts must be kept to an acceptable maximum level. Testing is not required if all ducts are inside the building envelope (for example in heated basements), though the ducts still have to be sealed.

10.2 Framing and HVAC subcontractors shall coordinate work prior to construction to allow for adequate scheduling and routing of services.

10.3 HVAC and plumbing subcontractors to coordinate locations of all HVAC equipment to ensure that any required drains are provided.

10.4 All plumbing work shall be in accordance with all applicable codes and be performed by a licensed plumber in the state in which the work is done. Use PVC schedule 40 for waste lines and vents. Use copper for water lines. All solder used in potable water systems shall be lead-free. Solders are required to be identified by a "type designation" on the spool or container, allowing determination of lead-free composition.

10.5 All work must meet the approval of all authorities having jurisdiction.

10.6 All plumbing fixtures shall be 'Kohler' or 'American Standard"; color and model as selected by Owner. Provide non-scalding faucets by 'Delta' or 'Moen' for each fixture.

10.7 All hot water pipes in crawl spaces shall be insulated with pipe insulation.

10.8 All electrical work shall be in accordance with all local, state, federal and national electrical codes.

10.9 Provide 120 V duplex receptacle outlets, switches, and lighting outlets at locations as shown on plans and as directed by Owner. All receptacles shall be 1'-2" AFF unless otherwise noted on plans.

10.10 All outlets in wet areas to be G.F.I.

10.11 Install light fixtures as selected by the owner in locations as shown on plans. 50% of the lighting "lamps" (bulbs, tubes, etc.) in a building have to be energy efficient. Cost of hung light fixtures by owners. All ceiling fan locations to have reinforced. boxes.

10.12 The electrical layout is based on minimum requirements. The owner and Architect may be consulted for additional electrical and lighting as required.

10.13 Exhaust fan/lights shall be ducted to exterior and shall be manufactured by Lutron or approved equal. Provide hard ducted venting to exterior for all bathroom exhaust fans and dryer vents. Install as per manufacturer's specifications and as per International Building or Residential Codes.

10.14 Kitchen exhaust hood shall be hard ducted to exterior as per manufacturer's specifications. If hood exceeds 400 CFM, then contractor to provide shop drawings or cut sheets detailing the adequate make-up air required by code and the manufacturer.

10.15 Provide minimum of one (1) hard-wired ionization smoke detector per floor and a maximum of 10 feet from bedrooms and a minimum of 3 feet from each bathroom with a bathtub or shower. Provide one smoke detector in each bedroom. All smoke detectors to be A.C. wired, battery backup, interconnected, ionization types as per code.

10.16 Provide carbon monoxide detectors one (1) per floor and one (1) at a maximum of 10'-0" from each bedroom. Devices shall comply with UL 2034.

10.17 Provide one (1) hard-wired heat detector in attic spaces.

11.0 GARAGE FIREPROOFING

11.1 The wall between the garage and the house shall be provided with one layer of ⅝" thick, type 'X' gypsum wallboard. The wallboard shall be applied at right angles to each side of the stud and with 1¼" drywall screws or nails at 12" on center. The joints of the gypsum wallboard shall be separated by at least one stud bay on opposite sides of the wall. The joints of the wallboard shall be taped and provided with one coat of spackle minimum. It is permissible to install insulation in these walls and ceiling. These surfaces are required to be continuous to the underside of the ceiling membrane above. Membrane penetrations shall be as permitted in Section 714.4.2 of the Building Subcode.

11.2 The floor/ceiling assembly shall consist of two layers of ⅝" thick type 'X' gypsum wallboard. The base layer shall be applied at right angles to the joists with 1¼" minimum drywall screws or nails at 24" on center. The face layer shall be applied at right angles to the joists with 1¼" minimum drywall screws or nails at 12" on center. The face layer joints shall be offset from the base layer joints by a minimum of one joist bay.

11.3 The joints of the face layer shall be taped and provided with a minimum of one layer spackle. Insulation may be installed in this floor/ceiling assembly. There are no restrictions on the installation of the utilities above the ceiling top membrane and if unusable space is located above the portion of the assembly, then no top membrane is required. Protection for any penetrations in the upper membrane of the assembly (i.e., heating and air conditioning registers) is not required. Membrane penetrations shall be as permitted in section 714.4.2 of the Building Subcode.

11.4 The exterior load bearing wall is required to be provided with one layer of ⅝" thick type 'X' gypsum wallboard applied at right angles to the studs and secured with a minimum of 1¼" drywall screws or nails at 12" on center. The joints of the wallboard shall be taped and provided with a minimum of one coat of spackle. Insulation may be installed in this wall. This wall is required to be continuous to the underside of the ceiling membrane above.

11.5 Any joints between the floor/ceiling assembly and the walls need only be provided with tape and spackle.

11.6 If there is a girder supporting the floor/ceiling assembly and the girder consists of a minimum of three (3) 2" x 10" members, there is no additional protection required for the girder. If the girder is smaller than three (3) 2" x 10" members, of engineered lumber or of steel construction, it must be encased in a minimum of two layers of ⅝" thick type 'X' gypsum wallboard. The base layer is required to be secured with a minimum of 1" screws at 12" on center and the face layer is required to be secured with a minim of 1¼" screws at 12" on center. The face layer shall be provided with tape and one layer of spackle minimum. No additional protection is required for the column or wall supporting the girder.

12.0 MANUFACTURER'S DIRECTIONS

12.1 Where commercial products, materials or equipment are used, the manufacturer's directions, recommendations, measurements, requirements, specifications and installation details must be strictly followed.

Radon Notes

(a) Tier one radon hazard areas shall be identified in accordance with the county/municaipal radon listing established by the Department of Environmental Protection. The current list of municipalities in item one areas is set forth in Appendix 10-A of this subcode.

(b) The construction techniques set forth in this subsection shall be the minimum radon hazard protective features required to be incorporated into construction of buildings in Use Group E and R in tier one areas, and may be incorporated elsewhere, in order to minimize radon and radon progeny entry and facilitate any post-construction radon removal that may be required. Enumeration of these construction techniques is not intended to preclude voluntary use of additional or more extensive techniques. Full compliance with these construction techniques is not required for additions; however, those construction techniques that are feasible shall be incorporated.

1. A continuous vapor barrier not less than six-mil (.006 inch; .152 mm) polyvinyl chloride or polyethylene with any seams overlapped not less that 12 inches (305 mm), or other approved material, shall be installed under the slab in basement and slab-on-grade construction and on the soil in crawl space construction.

2. Floors of basements and slab-on-grade construction shall be placed over a base course, not less than four inches (102 mm) in thickness, consisting of gravel or crushed stone containing not more than 10 percent of material that passes through a No. 4 sieve.

3. Basement slabs with interior foundation pipe drains installed shall have a solid three-inch minimum diameter vent pipe section installed in conjunction with this drainage system and be connected to an independent vent stack pipe terminating at an approved location on the exterior of the building.

4. Basement slabs which do not have an interior foundation pipe drain, and slab-on-grade construction (excluding non-habitable spaces such as garages), shall be provided with one three-inch minimum solid vent pipe section with a "T" pipe fitting for every 1,500 square feet, or portion thereof, of slab area, this vent pipe section to be installed into the sub-slab aggregate. The horizontal openings of the "T" pipe fitting shall be placed in the sub-slab aggregate. The vertical portion of the "T" pipe fitting shall be connected to and independent vent stack pipe terminating at an approved location on the exterior of the building. Where more than one vent pipe section is provided, interconnection of these sections into a single independent vent stack is permitted.

5. Basement slabs with French drains or channel drains shall not be allowed unless interior foundation pipe drains as described in this section are installed.

6. Joints in foundation walls and floors, including, without limitation, control joints between slab sections poured separately, and between foundation wall and floor (except for French drains or channel drains), as well as penetrations of the foundation walls and floor including, but not limited to, utility penetrations, shall be substantially sealed by utilizing a non-cracking polyurethane or similar caulk, or equivalent, in order to close off the soil gas entry routes. Any openings or penetrations of the floor over the crawl space shall be substantially sealed in order to close off the soil gas entry routes.

7. Unstrapped floor drains shall be provided with removable stoppers which substantially close off the soil gas entry routes.

8. A sump cover which substantially closes off the soil gas entry routes shall be provided for all sump installations. If foundation pipe drains terminate at a sump installation and provisions are made for venting from the sump installation, the three-inch diameter solid vent pipe section requirement of (b)3 above need not be provided.

9. Any ductwork that is routed through a crawl space or beneath a slab shall be properly taped or sealed.

10. Sealant materials that substantially close off the soil gas entry routes shall be installed on any doors or other openings between basements and adjoining crawl spaces that are vented to the exterior.

11. The tops of foundation walls, including, without limitation, interior ledges, that are constructed of hollow masonry units shall be capped or the voids shall be completely filled.

12. The independent vent stack pipe provided in accordance with (b)3, 4 or 8 above shall be an adequately supported, gas tight, three-inch minimum diameter solid pipe, though any enclosed portions of the building. The pipe shall be routed in a manner that makes it accessible for the installation of a future in-line vent pipe fan in a non-conditioned (not heated or cooled) space, including, without limitation, an attic space, but excluding a basement or crawl space, and installed in a configuration, and supported in a manner, that will ensure that rain water or condensate accumulation within the pipes will drain downward into the ground beneath the slab or vapor barrier. The vent stack pipe shall meet the following termination requirements:

i. Vent pipes shall terminate at least 12 inches above the roof, measured from the highest point where the vent intersects the roof. When a vent pipe extension terminates on an occupiable roof the vent pipe shall extend at least seven feet above the roof surface. Exception: Buildings more than three stories in height shall be allowed to extend vent pipe terminals through a wall provided that the termination is at least 20 feet above grade and is effectively screened.

ii. No vent terminal shall be located directly beneath any door, window, or other ventilating opening of the building or of an adjacent building nor shall any such vent terminal be within 10 feet horizontally of such an opening unless it is at least two feet above the top of such opening.

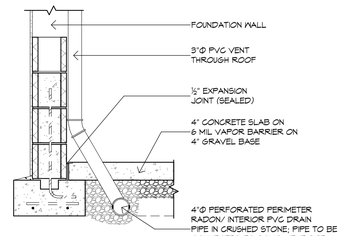
iii. No vent terminal shall be closer than 10 feet horizontally from any lot line. Where this 10 foot horizontal distance is not possible due to lot width, the vent terminal shall be placed as remote from the lot line as practicable.

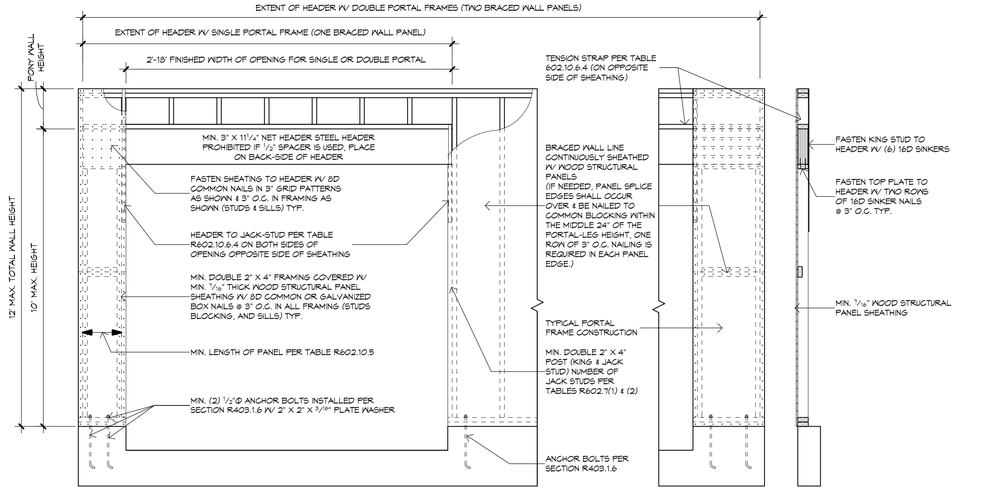
13. Radon vent pipes shall be identifiable and clearly labeled at intervals of not more than 25 feet in concealed location, not more than 50 feet in exposed locations and not less than once in any room or space.

14. Electrical junction boxes shall be installed near the provided area, such as an accessible attic space, where a future in-line vent pipe fan and system failure alarms may be installed.

15. In combination basement/crawl space or slab-on-grade/crawl space buildings a three-inch minimum solid vent pipe shall be provided between the areas and interconnected into the independent vent stack to permit use of a single in-line vent pipe fan if activation of the system is desired.

16. In order to reduce stack effect, air passages that penetrate the conditioned envelope of the building, such as attic access openings, or other openings installed in top-floor ceilings, shall be closed, gasketed or otherwise sealed with materials approved for such applications.





BRACED WALL DETAIL: METHOD CS-PF

SCALE: 1/2" = 1'-0"

REVISIONS

Number	Date	Description

NOTE: VALID WITH SEPT. ARCHITECTS SEAL/SIGNATURE & RAISED SEAL

BABULA ARCHITECTURE LLC
976 TABOR ROAD, 2nd FLOOR UNIT 5
MORRIS PLAINS, NJ 07950
PHONE: 973-998-4979
EMAIL: BABULA.ARCHITECTURE@GMAIL.COM

N.Y. - Lic. No. 038421-1 Block: 0
N.J. - Lic. No. 19812 Lot: 0

Pine Hill Farms Development LLC
MODEL-B
MILFORD, PA 18337

Drawn By: JB
Job No: 22-095
Date: 5-15-24
Sheet No: 12 of 12
Sheet: A5.0