

AREA TABULATION	
MAIN LEVEL	249 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	249 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH 2	245 SF
	100 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR SHEATHING AT FRAMED WALLS.
STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- KICKOUT FLASHING TO BE INSTALLED AS NOTED
- EXTERIOR WALL FINISHER TO VERIFY KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MIN. AND IRC CODE REQUIREMENTS
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
- ANY NOTATIONS OF SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE ENGAGED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THIS STRUCTURE.

WINDOWS

- ANDERSEN 400 SERIES
- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH "T" TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH "B" MEET EGRESS CODES
- WINDOW HEADER HEIGHTS (U.L.O.)
- MAIN LEVEL SBT TO 8' 11-3/8"
- GARAGE SBT TO 9' 0-1/4"
- UPPER LEVEL SBT TO 6' 11-3/8"
- ROUGH OPENINGS NOTED ARE MANUFACTURER'S MINIMUM REQUIREMENTS. BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

EXTERIOR FINISHES

- SIDING (AS NOTED)
- HARDIEPLANK LAP SIDING
- 5" EXPOSURE
- HARDIEPANEL VERTICAL SIDING
- SMOOTH W/BATTEN BOARDS AT 16" O.C.
- STONE VENEER IN 2 1/4" ROCK FACE STONE CAP
- HARDIE TRIM BOARDS
- WIDTH AS NOTED

CL-20-026
ST. MARTIN
CRAWL SPACE
STD. - 2-CAR SIDE



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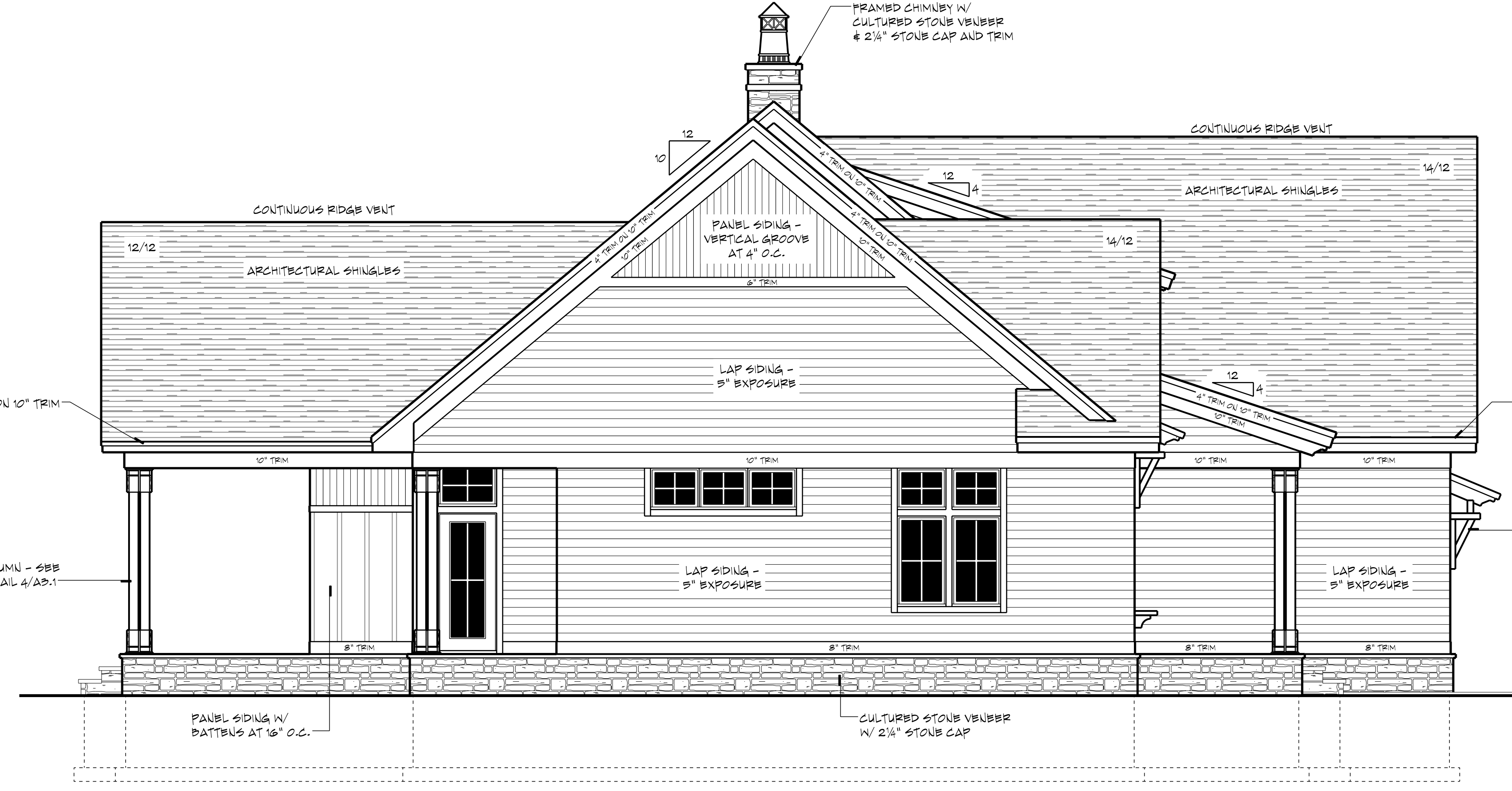
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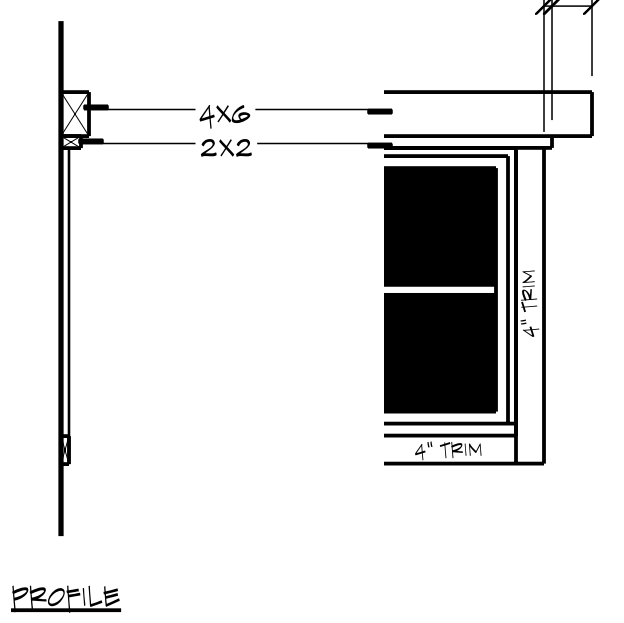
ISSUE	DATE	REMARK
1	01/21/21	FOUNDATION C265 - B33

EXTERIOR ELEVATIONS

A1.1



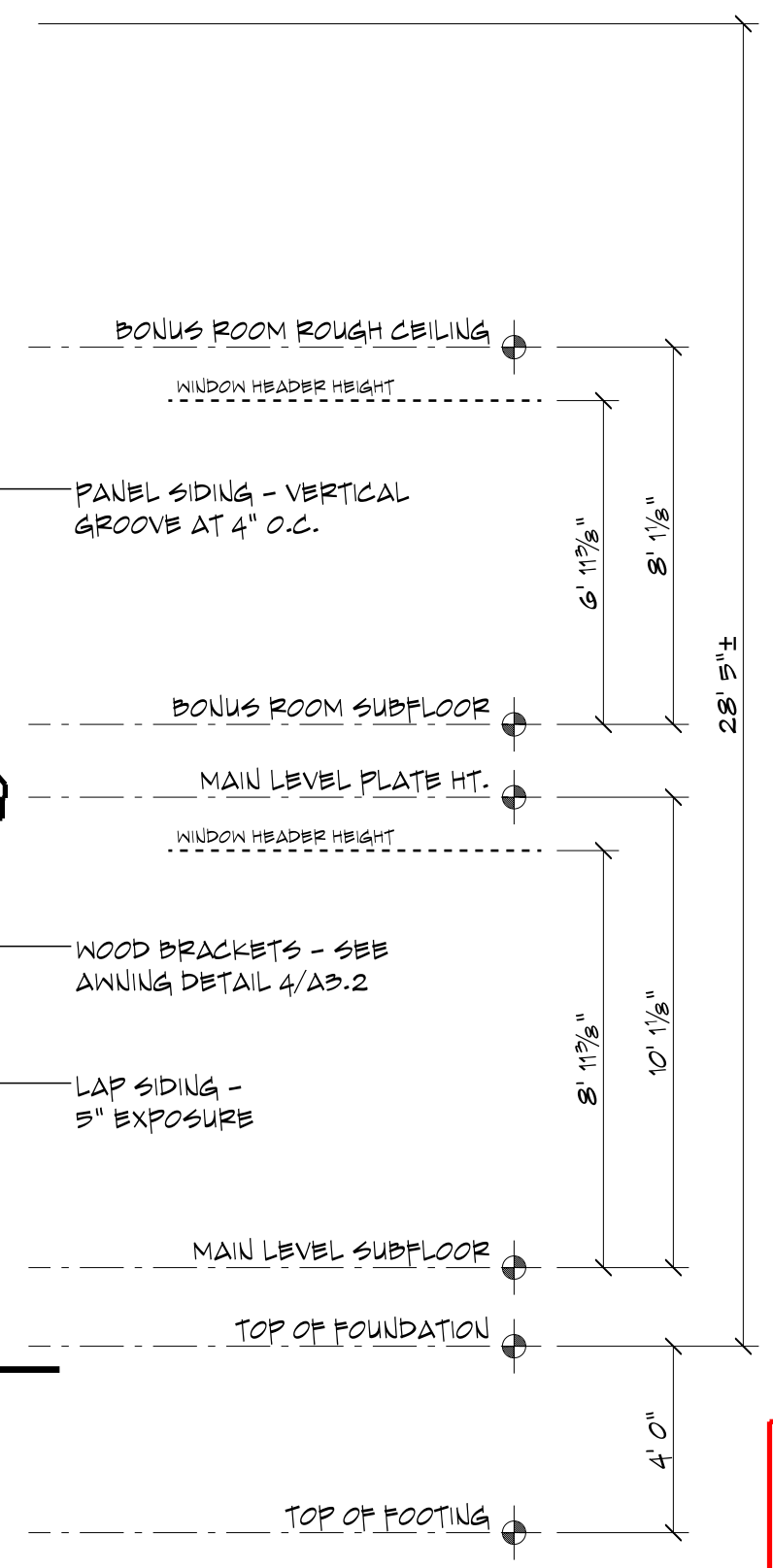
2 LEFT ELEVATION
SCALE: 1/4" = 1' 0"



3 WINDOW TRIM
SCALE: 1/2" = 1' 0"



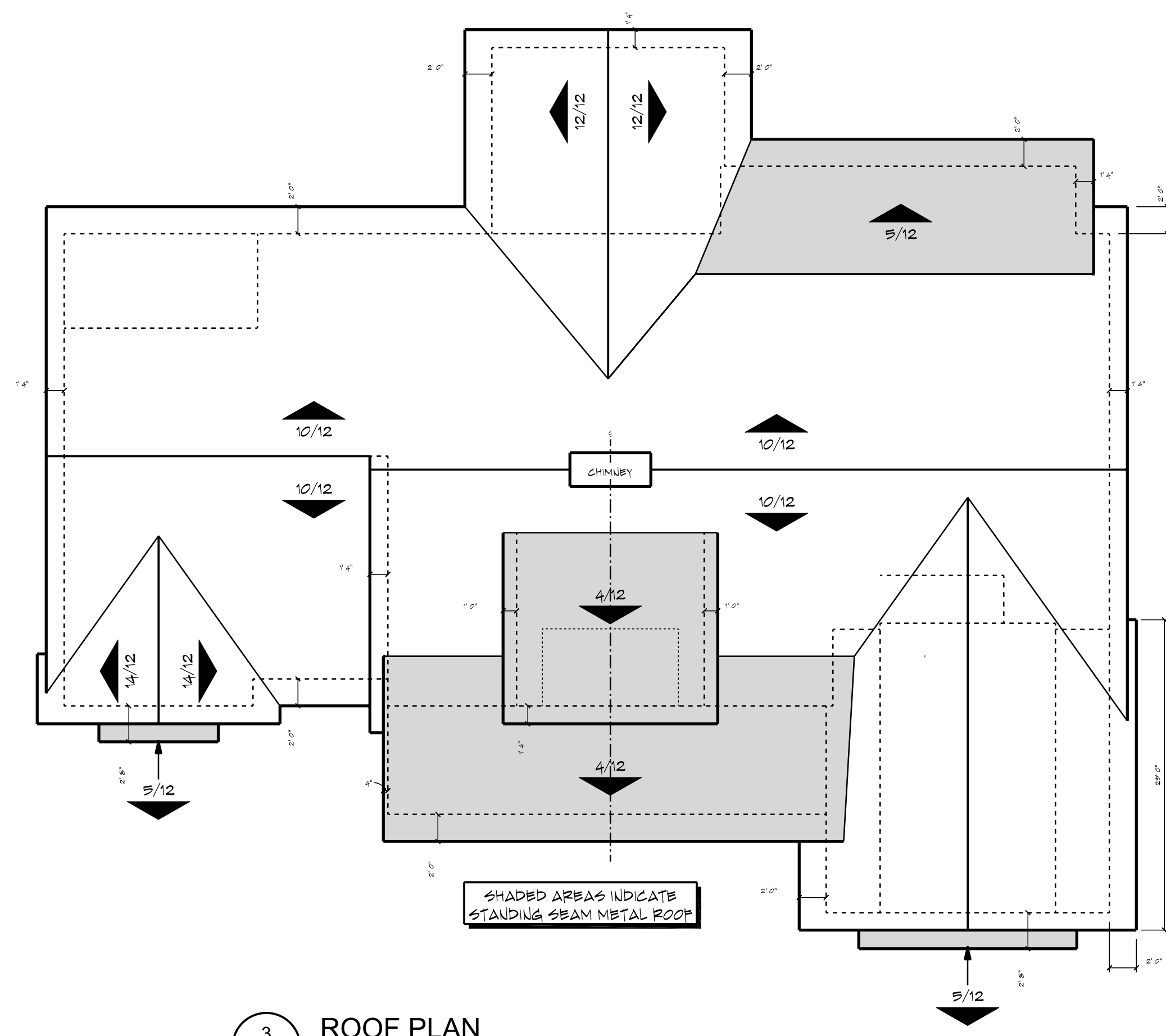
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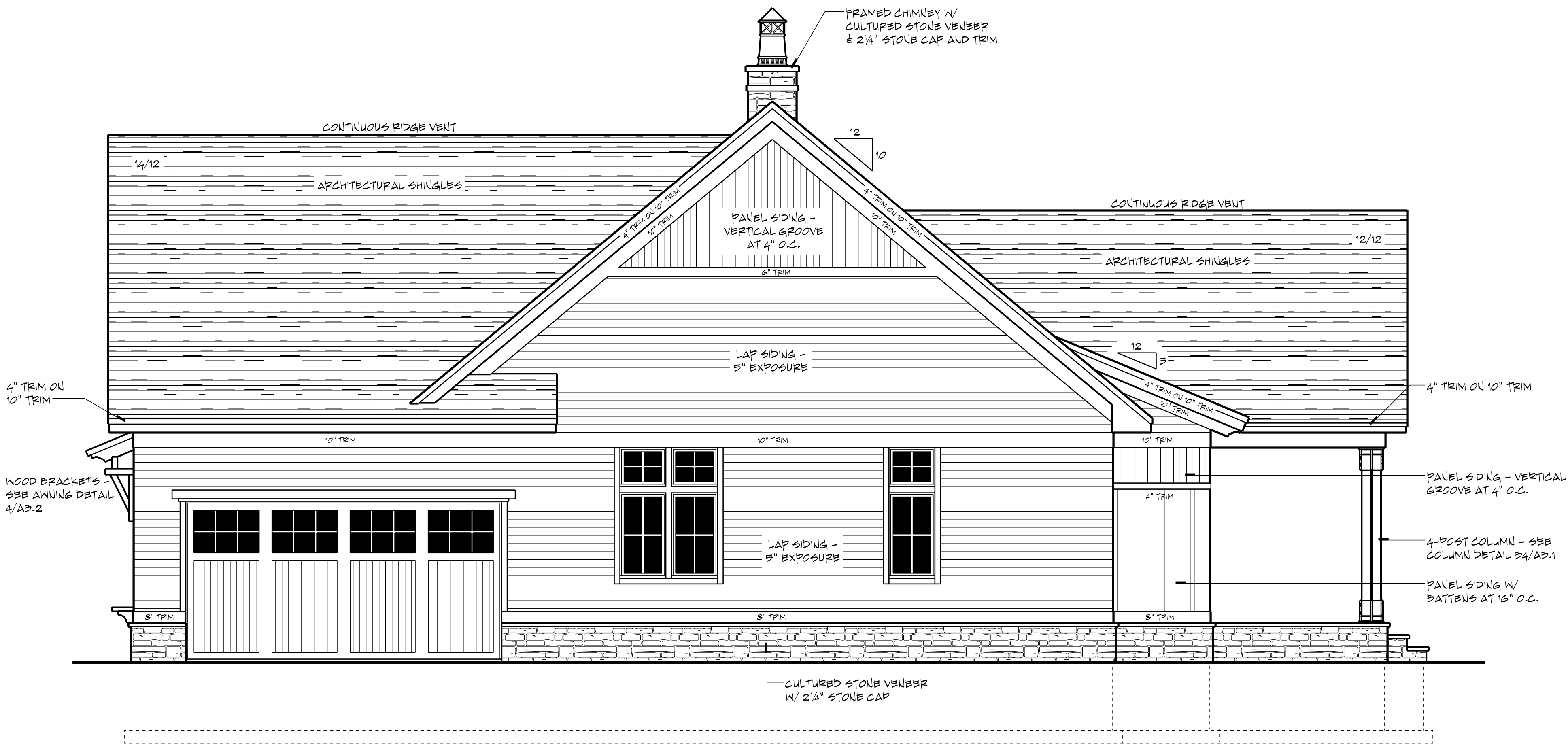
+++ STRUCTURAL NOTICE +++
ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

GENERAL NOTES

- ROOF VENTING TO BE 1/200 OF ATTIC AREA
- 50% IN BAY
- 50% IN ROOF
- KEEP ROOF PENETRATION TO REAR SIDE OF ROOF AS MUCH AS POSSIBLE
- TRUSS MANUFACTURER TO VERIFY ALL PITCHES, HEBL HEIGHTS, OVERHANGS, EXTENDED CORDS/TAILS AND KNEEWALL HEIGHTS.
- BUILDER TO REVIEW TRUSS DESIGN AND LAYOUT PRIOR TO TRUSS ORDER
- ICE & WATER SHIELD
 - TO POINT OF 24" BACK FROM INSIDE EDGE OF EXTERIOR WALL AT BAYES
 - TO A POINT OF 36" OUT AT ALL VALLEYS
 - UP 24" MIN. AT ROOF AND WALL INTERSECTIONS
- PULL ICE & WATER SHIELD ON ROOFS LESS THAN 4/12
- ROOFING CONTRACTOR TO INSTALL KICKOUT FLASHING AS NEEDED.
- EXTERIOR WALL FINISHER TO VERIFY INSTALLATION PRIOR TO FINISHING



3 ROOF PLAN
A1.2 SCALE: 1/8" = 1' 0"



2 RIGHT ELEVATION
A1.2 SCALE: 1/4" = 1' 0"



1 REAR ELEVATION
A1.2 SCALE: 1/4" = 1' 0"

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WINDOWS

- ANDERSEN 400 SERIES
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- WINDOWS DESIGNATED WITH 'B' MEET EGRESS CODES
- WINDOW HEADER HEIGHTS (U.N.O.)
- MAIN LEVEL SET TO 8' 11-3/8"
- GARAGE SET TO 9' 0-1/4"
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EXTERIOR FINISHES

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- 5" EXPOSURE
- HARDIPANEL VERTICAL SIDING
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- STONE VENEER W/ 2 1/4" ROCK FACE STONE CAP
- HARDI TRIM BOARDS
- WIDTH AS NOTED

+++ STRUCTURAL NOTICE +++

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ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

CL-20-026
ST. MARTIN
CRAWL SPACE
STD. - 2-CAR SIDE



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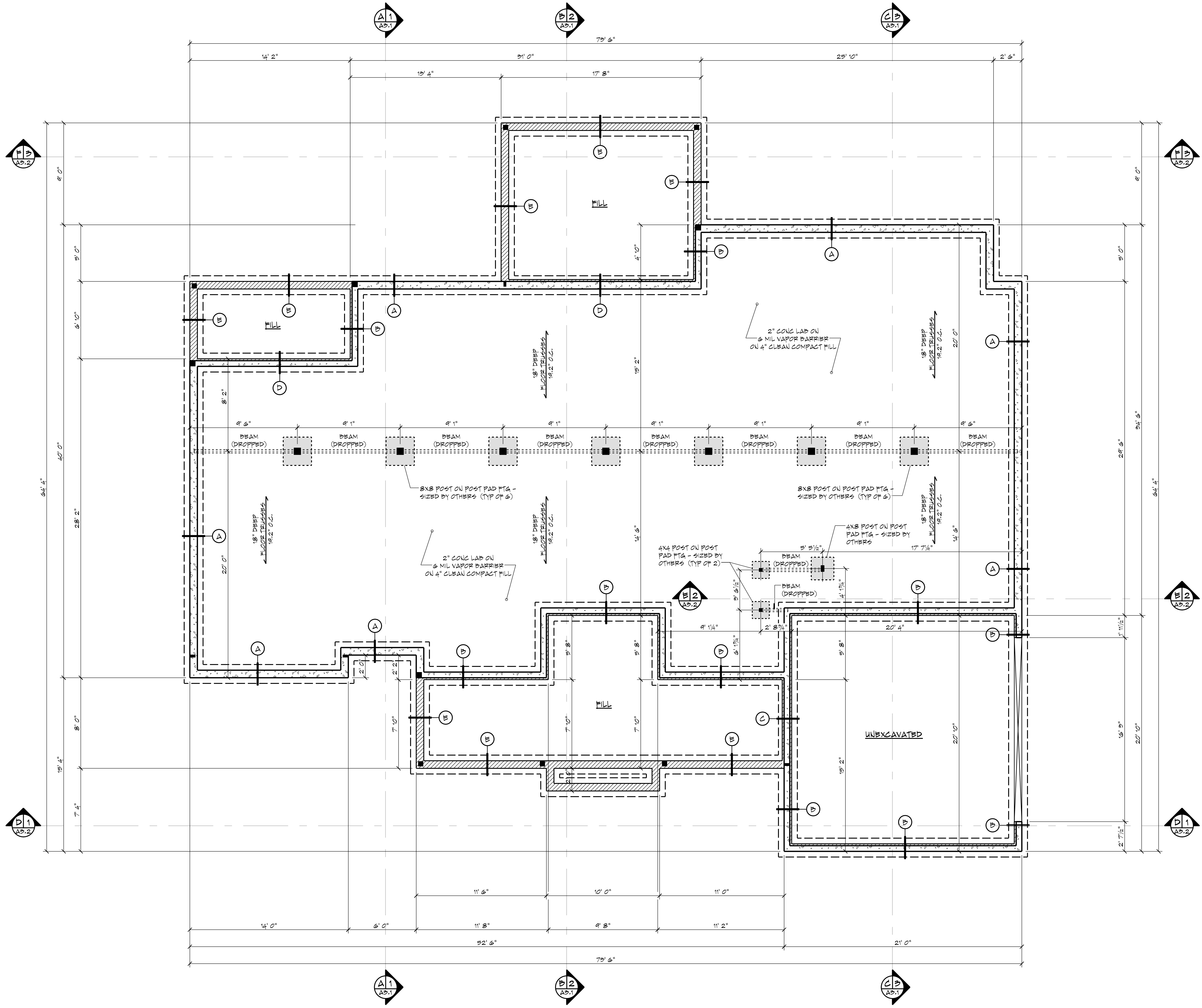
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1	01/2/21	FOUNDATION C26S - B33

EXTERIOR ELEVATIONS
ROOF PLAN

A1.2

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AREA TABULATION	
MAIN LEVEL	249 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	249 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH	243 SF
REAR PORCH 2	100 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR SHEATHING AT FRAMED WALLS.
STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

- FOUNDATION NOTES**
- (A) 8" N X 48" H POURED CONC WALL ON 20" X 8" CONC FOOTING
 - (B) 8" N X 48" H POURED CONC WALL ON 20" X 8" CONC FOOTING -- 2" N X 8" EXT LEDGE --
 - (C) 10" N X 48" H POURED CONC WALL ON 20" X 8" CONC FOOTING -- 2" N X 8" EXT LEDGE -- -- 2" N X 8" INT LEDGE --
 - (D) 10" N X 48" H POURED CONC WALL ON 20" X 8" CONC FOOTING -- 2" N X 8" EXT LEDGE --
 - (E) 8" N X 40" H POURED CONC WALL ON 20" X 8" CONC FOOTING

ADJUST WALL HEIGHT AS REQUIRED TO ACCOMMODATE LOCAL FROST LINE

- GENERAL NOTES**
- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
 - DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE FOUNDATION WALLS AND CENTERLINE OF INTERIOR BEARING WALLS, POSTS AND BEAMS.
 - FOUNDATION CONTRACTOR TO VERIFY ALL ROUGH-IN PLUMBING LOCATIONS AND ANY OTHER PENETRATIONS THROUGH CONCRETE FLOOR PRIOR TO CONSTRUCTION.
 - BUILDER/FOUNDATION CONTRACTOR TO VERIFY FOOTING SIZE AND REINFORCEMENT REQUIREMENTS BASED ON EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION.
 - WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
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- FLOOR SYSTEM**
- ENGINEERED WOOD FLOOR TRUSSES
 - SIZE AND SPACING BY SUPPLIER
 - TRUSS SUPPLIER TO VERIFY FRAMING AT CAULVERS FOR POINT LOADS FROM ABOVE
 - TRUSS SUPPLIER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

- FRAMING**
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS
 - INDICATES BEARING POINT LOAD
 - PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

+++ STRUCTURAL NOTICE +++
ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

++ FOUNDATION ENGINEERING ++
ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

CL-20-026
ST. MARTIN
CRAWL SPACE
STD. - 2-CAR SIDE



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1	01/2/21	FOUNDATION 0205 - B33

FOUNDATION PLAN

3 **A2.1** 8
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AREA TABULATION	
MAIN LEVEL	249 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	249 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH 2	249 SF
REAR PORCH 1	100 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR SHEATHING AT FRAMED CALCULATIONS.

STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING OF EXTERIOR STUD WALLS AND CENTERLINE OF INTERIOR PARTITIONS.
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WINDOWS

- UNDERBELL 400 SERIES
- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH "T" TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH "B" MUST BEARSS CODES
- WINDOW HEADER HEIGHTS SET TO 8' 11-5/8" (U.L.O.)
- ROUGH OPENINGS NOTED ARE MANUFACTURER'S MINIMUM REQUIREMENTS. BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- SIZE AND SPACING BY SUPPLIER
- TRUSS SUPPLIER TO VERIFY FRAMING AT CAULTRIVERS FOR POINT LOADS FROM ABOVE
- TRUSS SUPPLIER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANULITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

FRAMING

- PLATE HEIGHTS (U.L.O.)
- 11'-1/8" AT GREAT ROOM/DINING
- 10'-1/8" BALANCE OF HOUSE
- 2x6 WALLS AT ALL POCKET DOORS
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS
- ■ INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

DOOR SCHEDULE SYMBOL

2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

TRUSS SUPPLIER TO VERIFY ALL SPANS, PITCHES, HEEL HEIGHTS AND OTHER CONDITIONS CRITICAL TO PROPER TRUSS FABRICATION

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++ FOUNDATION ENGINEERING ++

ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++

OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.

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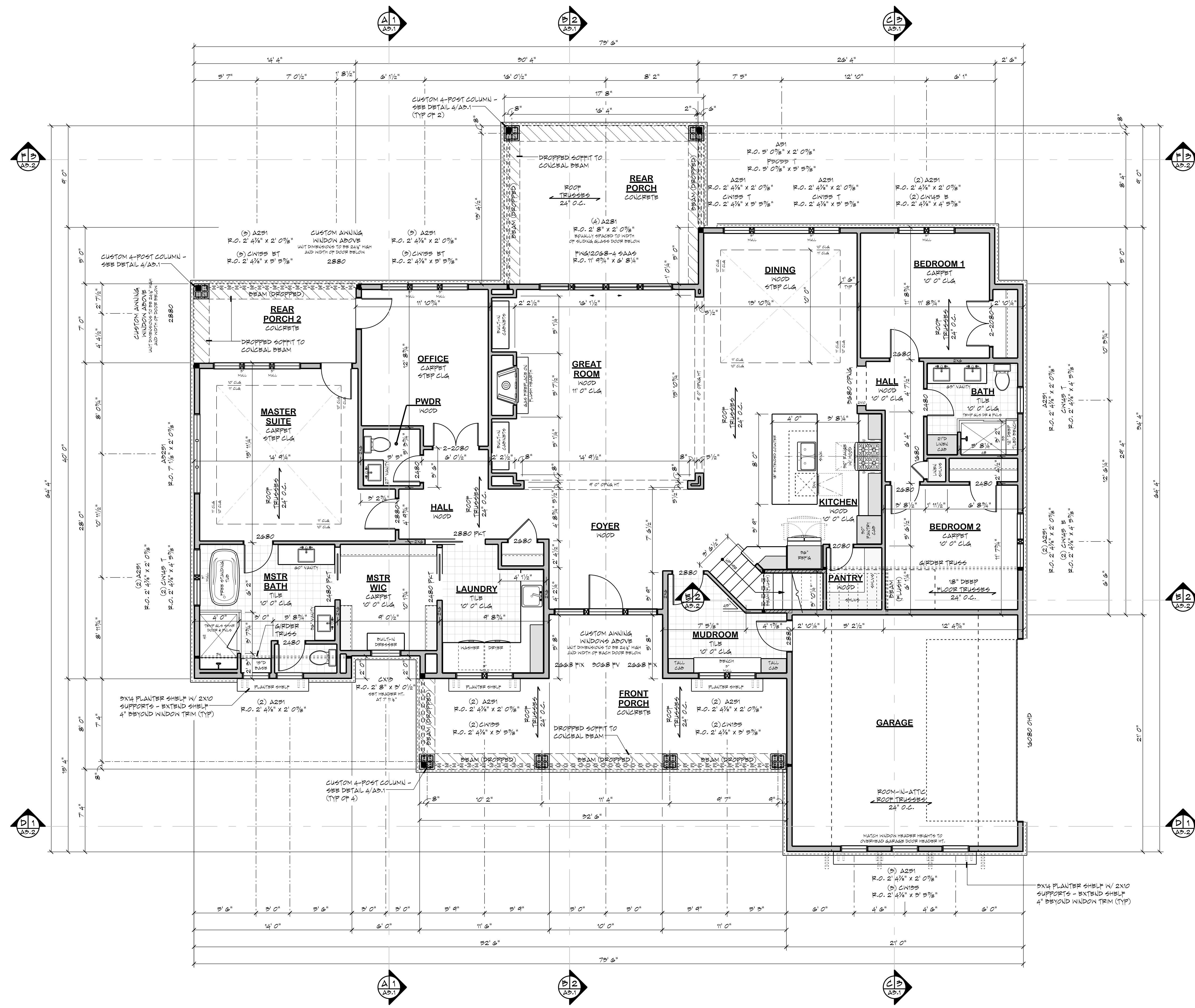
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MAIN LEVEL FLOOR PLAN

4 **A2.2** 8



1 MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

100% SCALE @ 36"x24"

AREA TABULATION	
MAIN LEVEL	249 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	249 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH	245 SF
REAR PORCH 2	100 SF

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WINDOWS

- UNDERPIN 400 SERIES
- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'B' MEET EGRESS CODES
- WINDOW HEADER HEIGHTS SET TO 6'-11-5/8" (U.L.O.)
- ROUGH OPENINGS NOTED ARE MANUFACTURER'S MINIMUM REQUIREMENTS. BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

FLOOR SYSTEM

- ENGINEERED ROOM-IN-ATTIC TRUSSES
- SIZE AND SPACING BY SUPPLIER
- TRUSS SUPPLIER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
- TRUSS SUPPLIER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

FRAMING

- 8'-1-1/8" ROUGH CEILING HEIGHT (U.L.O.)
- 2X6 WALLS AT ALL POCKET DOORS
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS
- INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

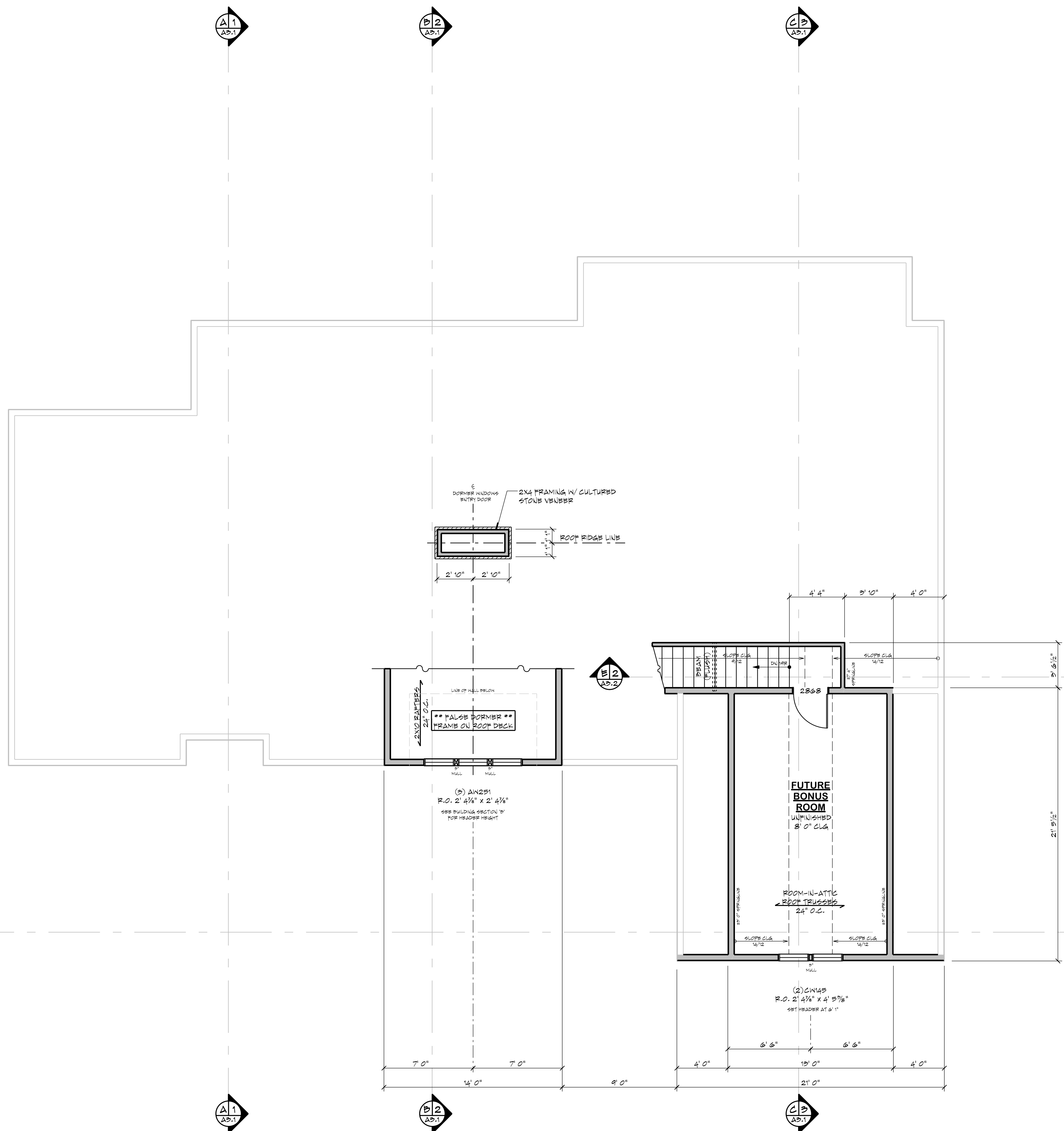
DOOR SCHEDULE SYMBOL
2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

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++ FOOTING PROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



1 UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



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UPPER LEVEL FLOOR PLAN

AREA TABULATION	
MAIN LEVEL	2419 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	2419 SF
TOTAL LIVABLE	2699 SF
GARAGE	498 SF
FRONT PORCH	324 SF
REAR PORCH 2	245 SF
REAR PORCH 1	100 SF

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CL-20-026
ST. MARTIN
CRAWL SPACE
STD. - 2-CAR SIDE



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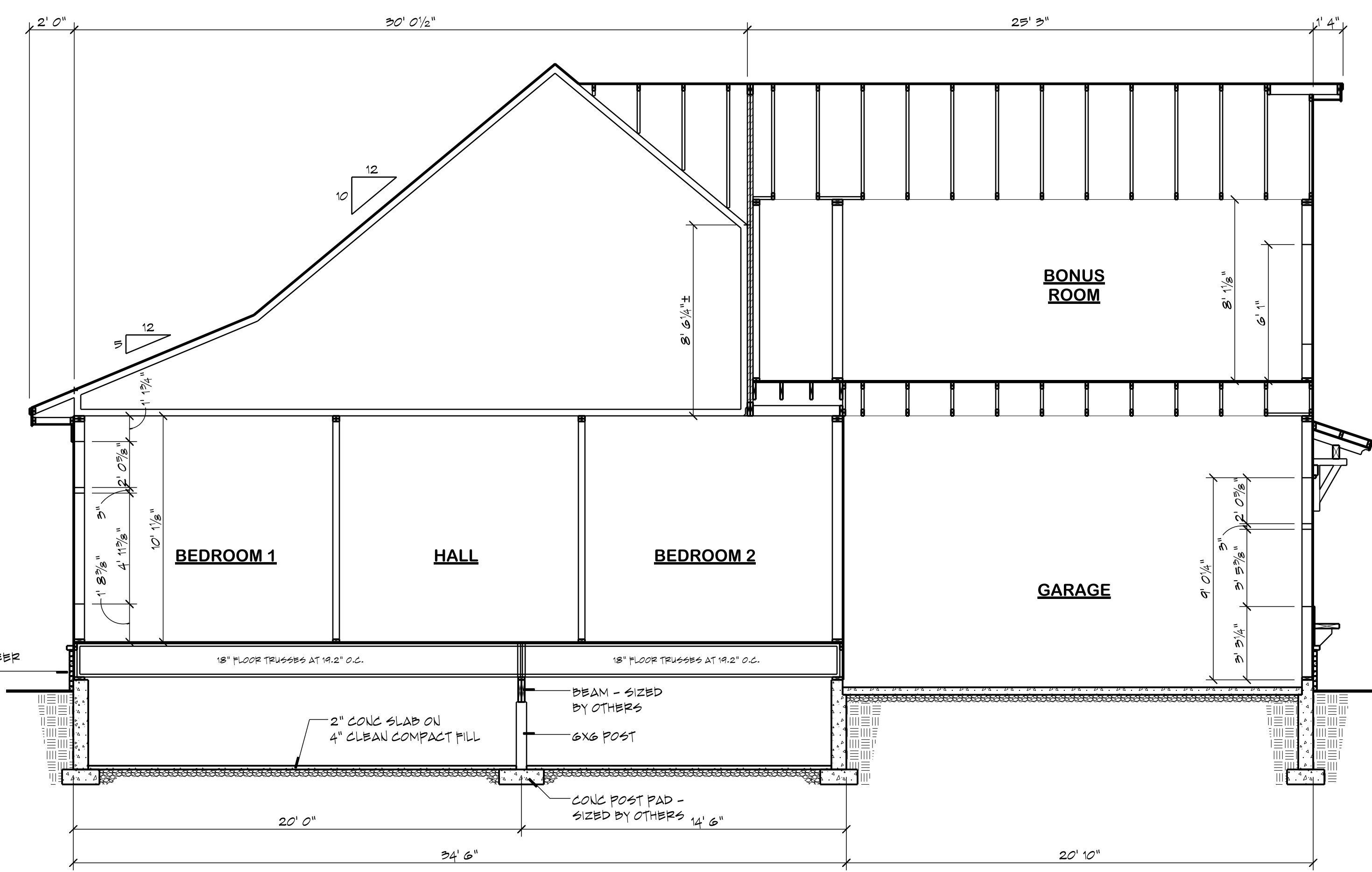
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1	01/2/21	FOUNDATION C225 - B33

BUILDING SECTIONS

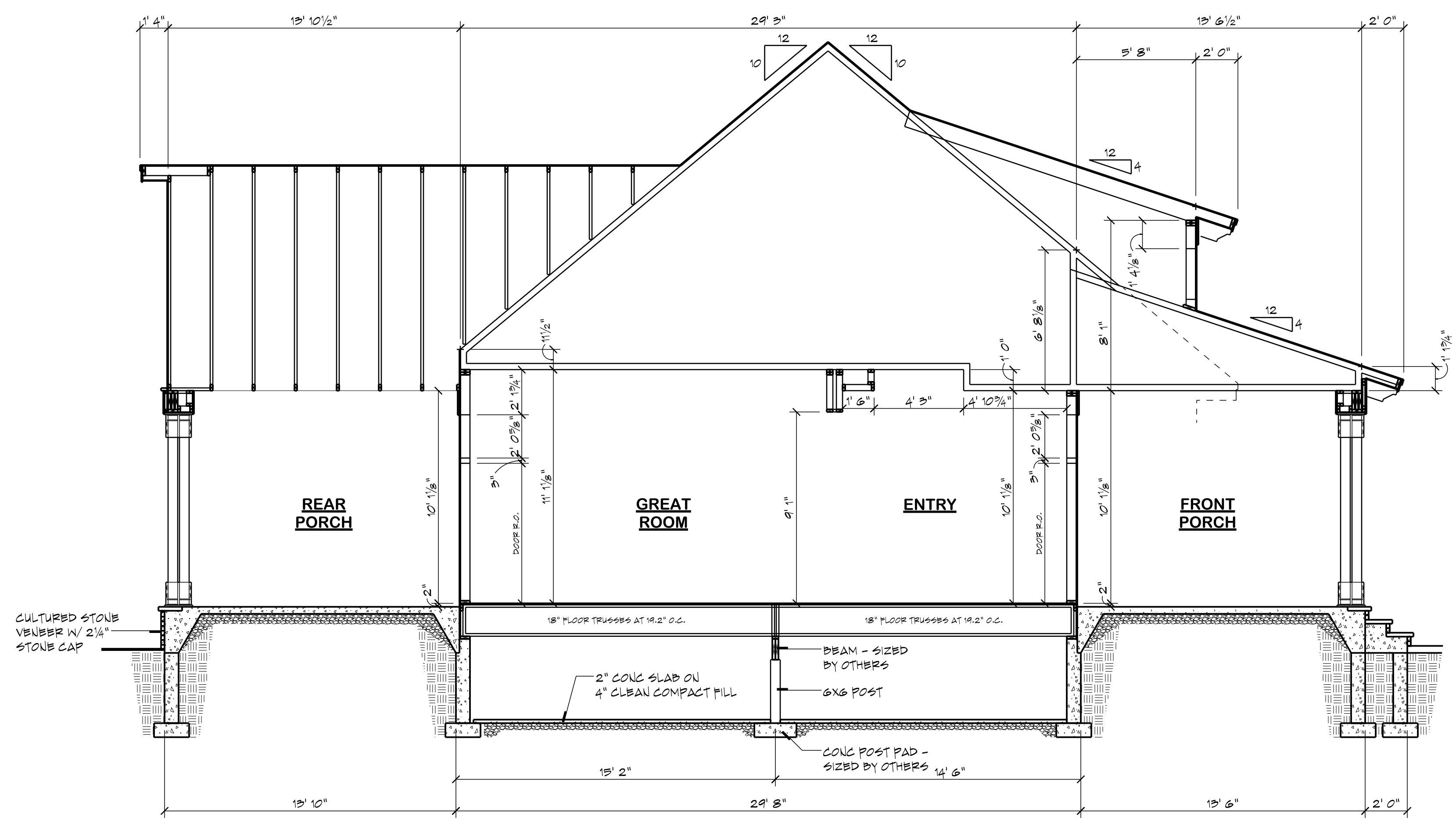
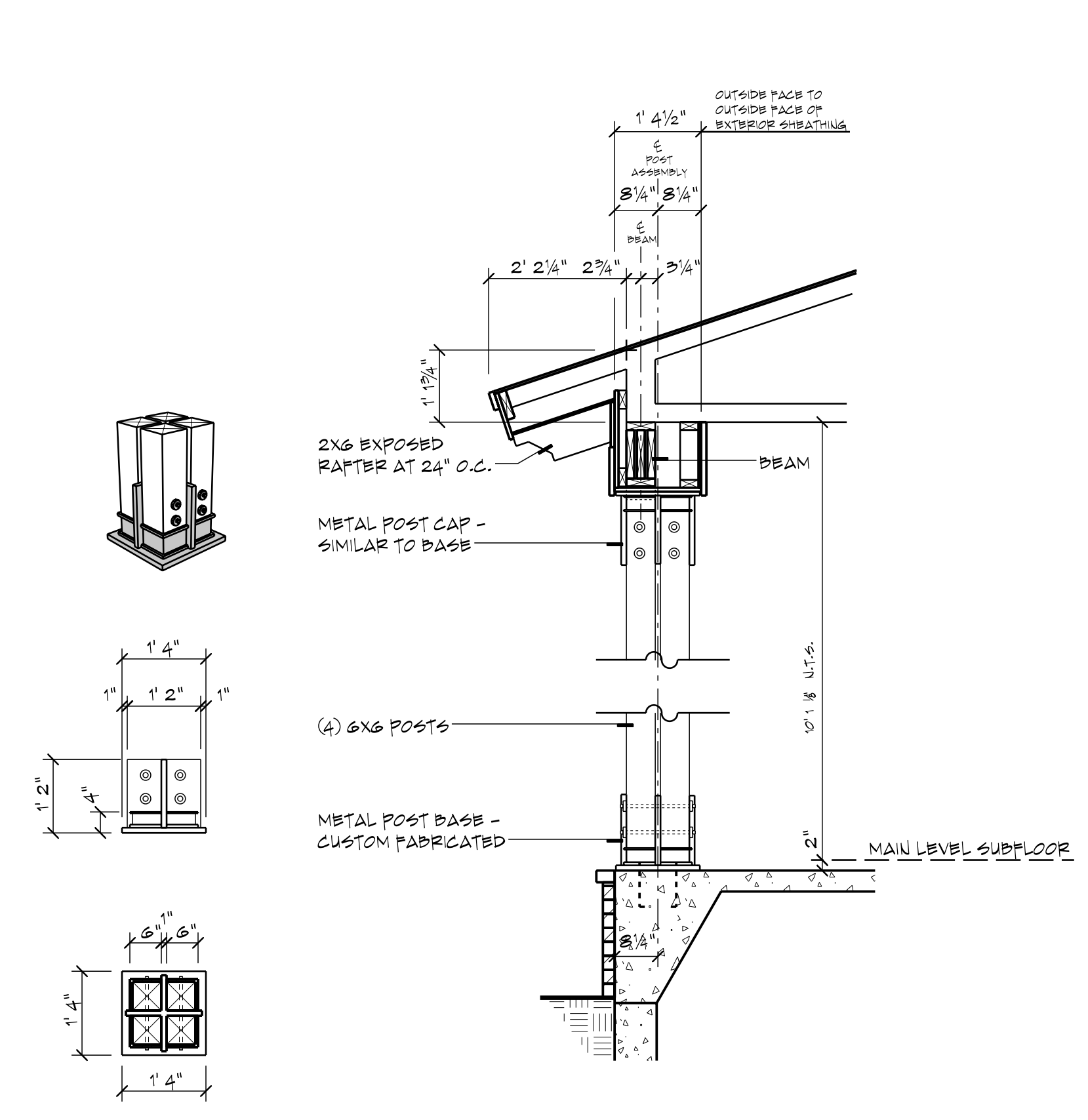
6 **A3.1** 8

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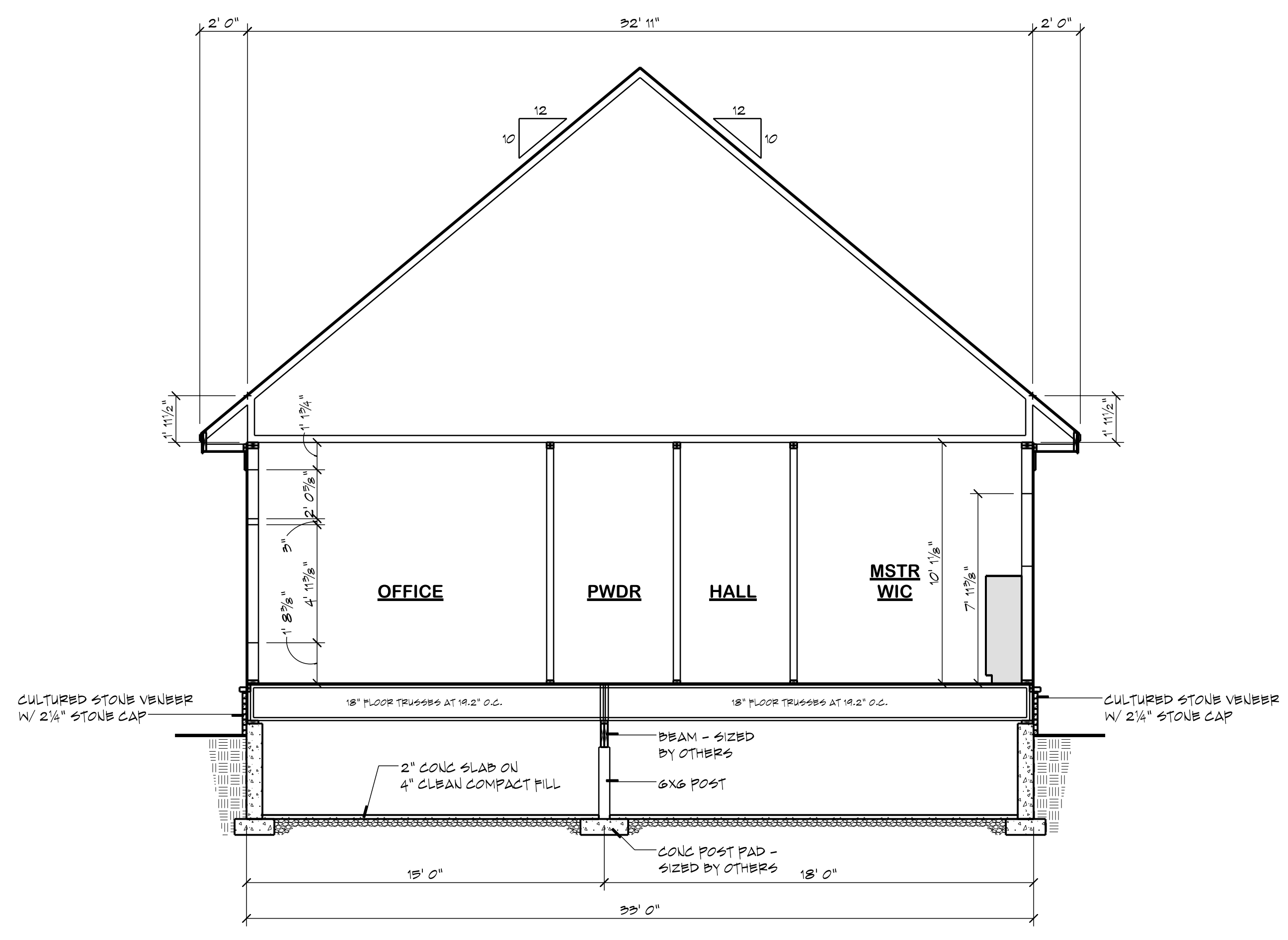


3 BUILDING SECTION 'C'
SCALE: 1/4" = 1' 0"

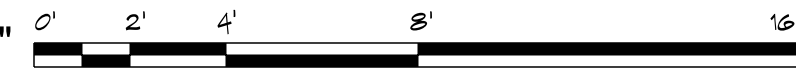
4 COLUMN DETAIL
SCALE: 1/2" = 1' 0"



2 BUILDING SECTION 'B'
SCALE: 1/4" = 1' 0"



1 BUILDING SECTION 'A'
SCALE: 1/4" = 1' 0"



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 ANY STRUCTURAL COMPONENTS THAT MAY BE NOTED ON THESE PLANS ARE INTENDED FOR DESIGN/BID PURPOSES ONLY. IT IS RECOMMENDED THAT ALL STRUCTURAL DESIGN BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER

+++ STRUCTURAL NOTICE +++
 ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

++ FOUNDATION ENGINEERING ++
 ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++
 OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.

AREA TABULATION	
MAIN LEVEL	249 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	249 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH 2	100 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR SHEATHING AT FRAMED WALLS.
 STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.



ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

CL-20-026
ST. MARTIN
CRAWL SPACE
STD. - 2-CAR SIDE



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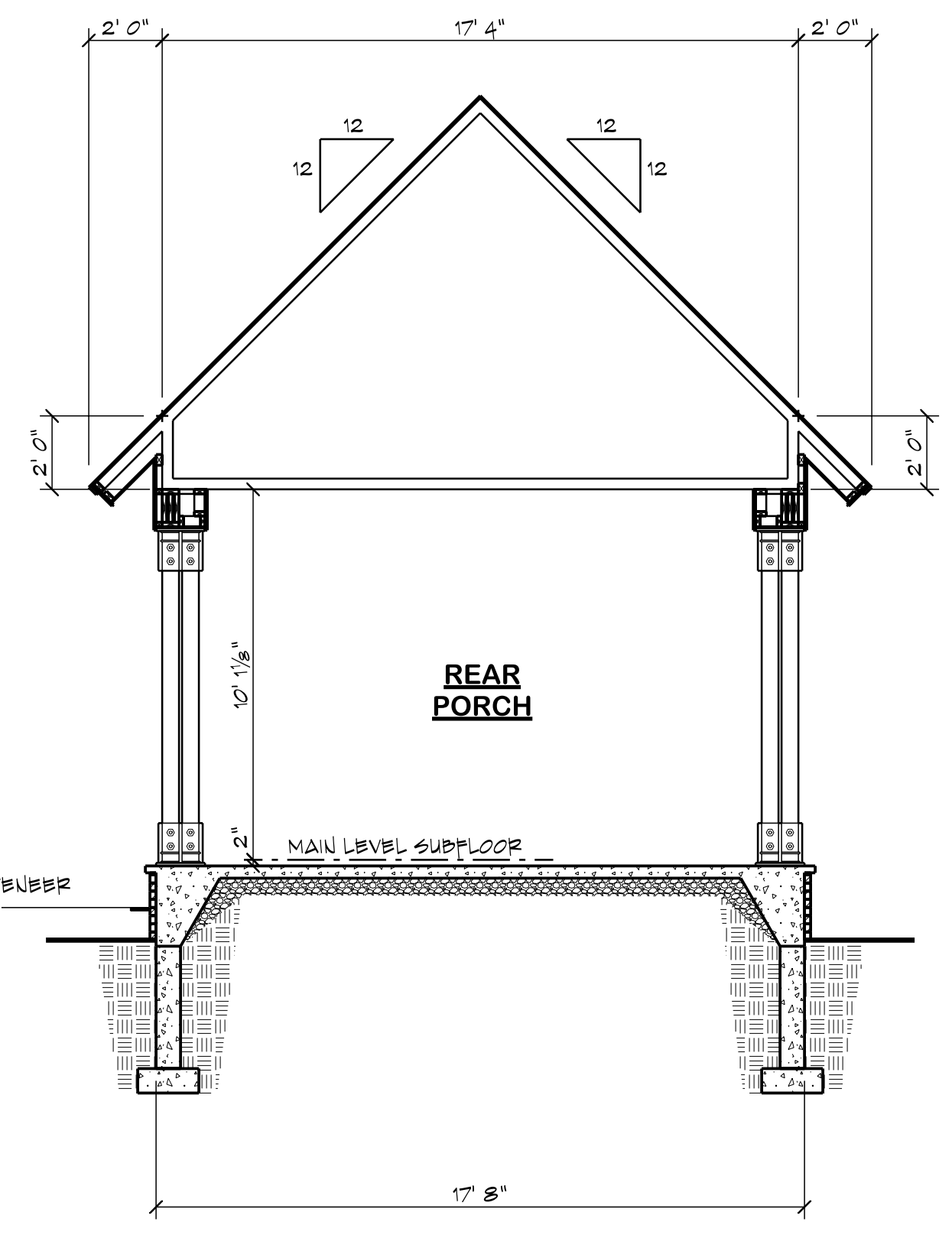
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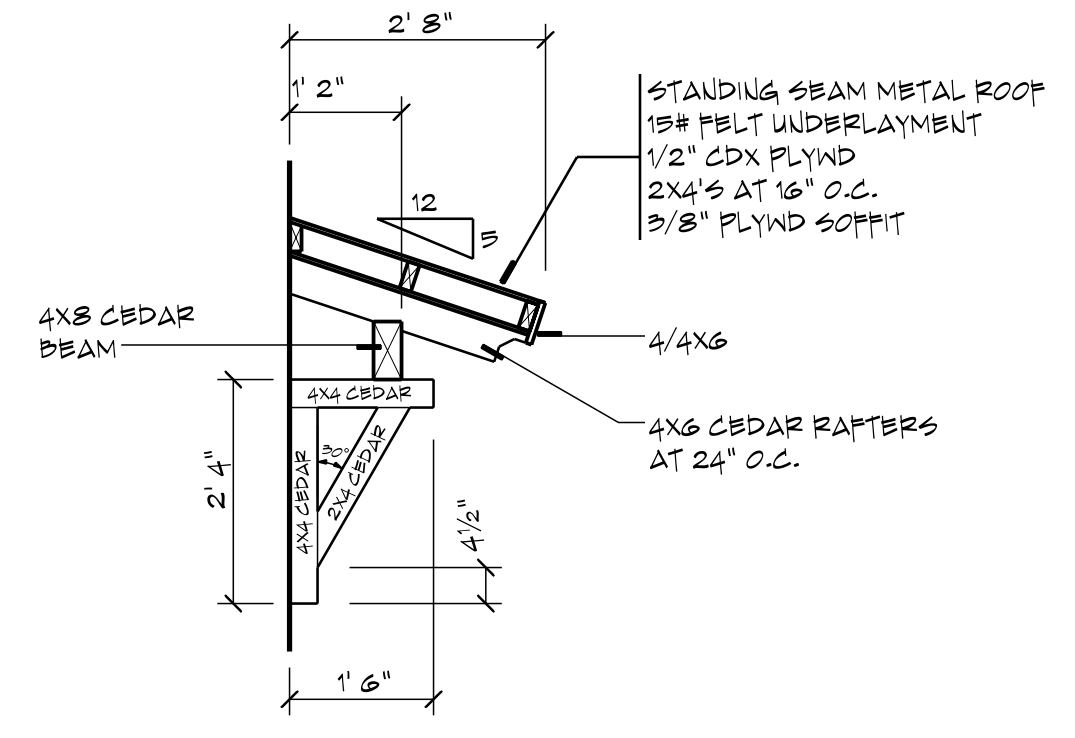
ISSUE	DATE	REMARK
1	01/2/21	FOUNDATION C225 - B33

BUILDING SECTIONS
 AWNING DETAIL
 TYPICAL WALL SECTION

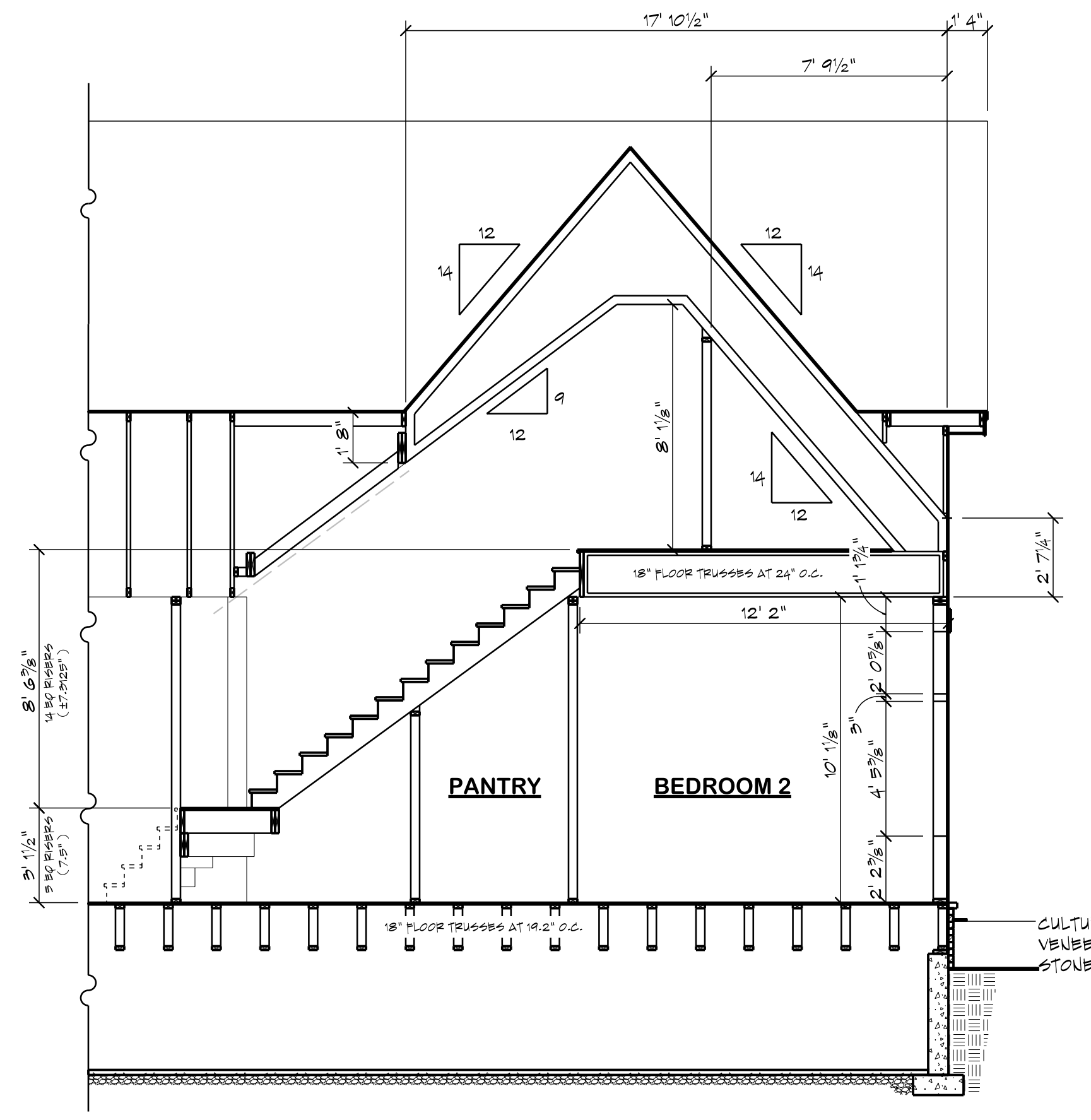
A3.2
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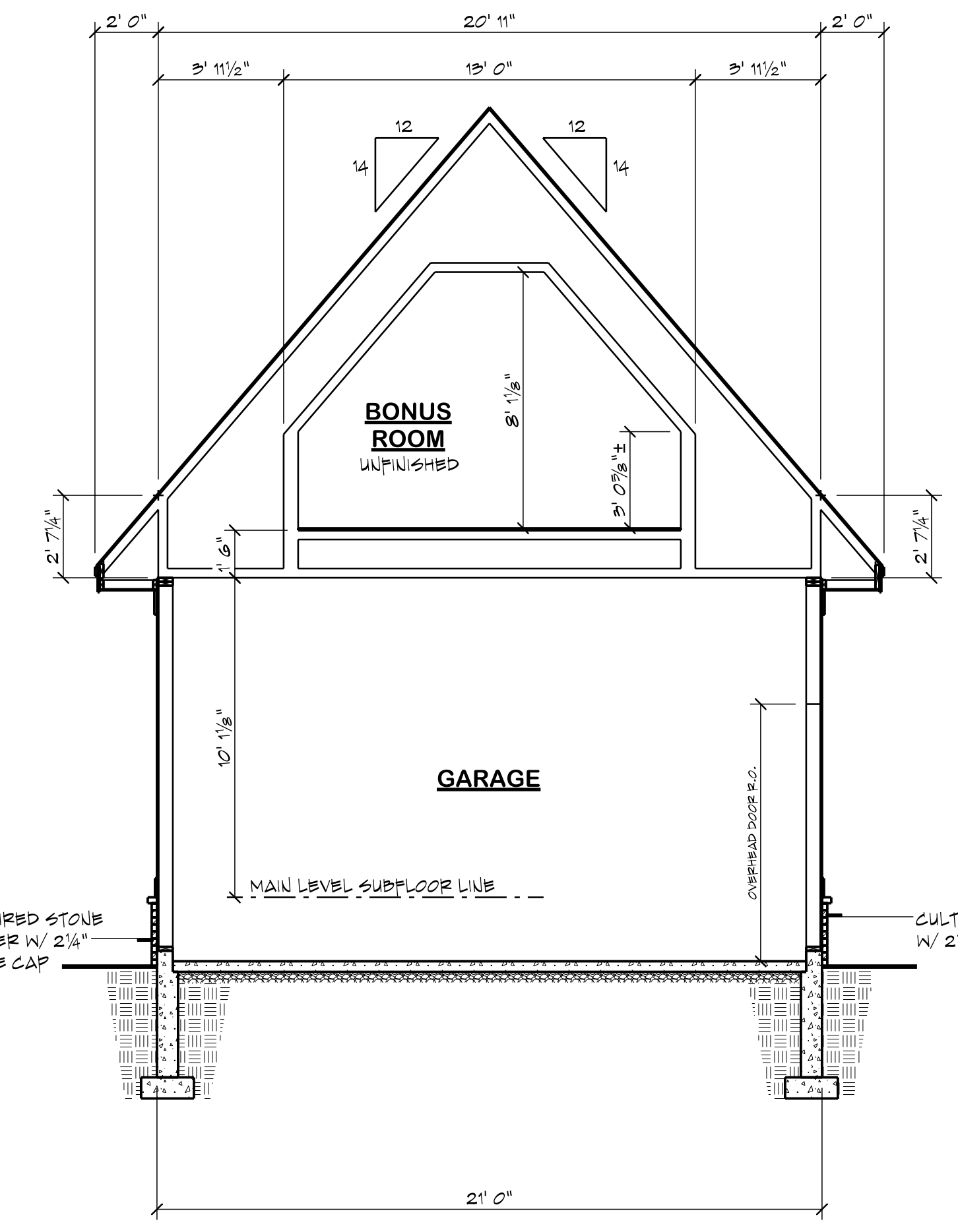
3 BUILDING SECTION 'F'
 SCALE: 1/4" = 1' 0"



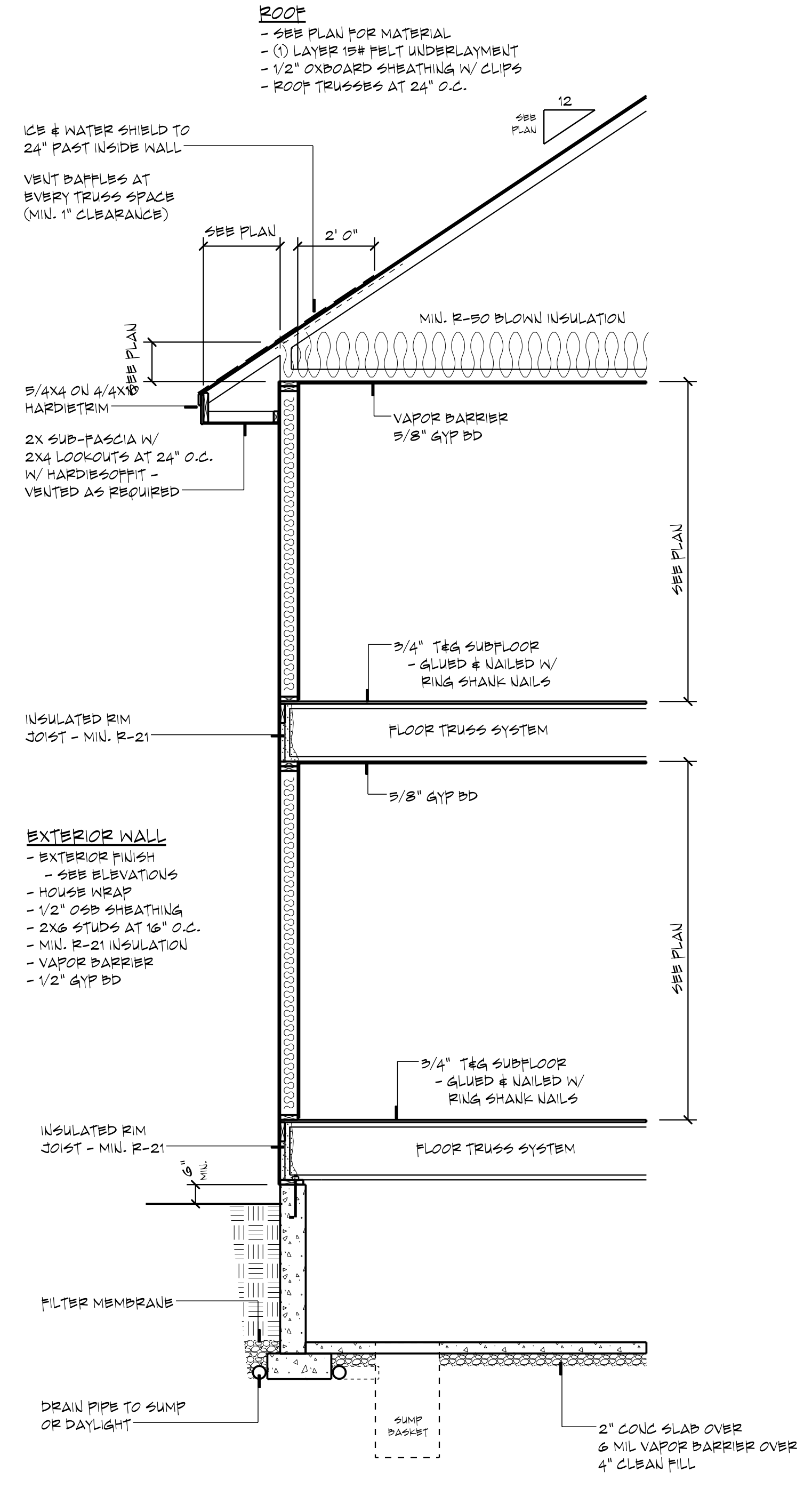
4 AWNING DETAIL
 SCALE: 1/2" = 1' 0"



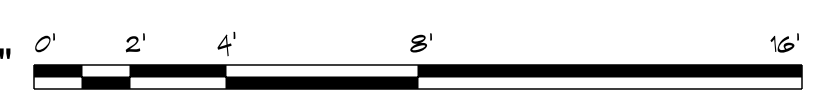
2 BUILDING SECTION 'E'
 SCALE: 1/4" = 1' 0"



1 BUILDING SECTION 'D'
 SCALE: 1/4" = 1' 0"

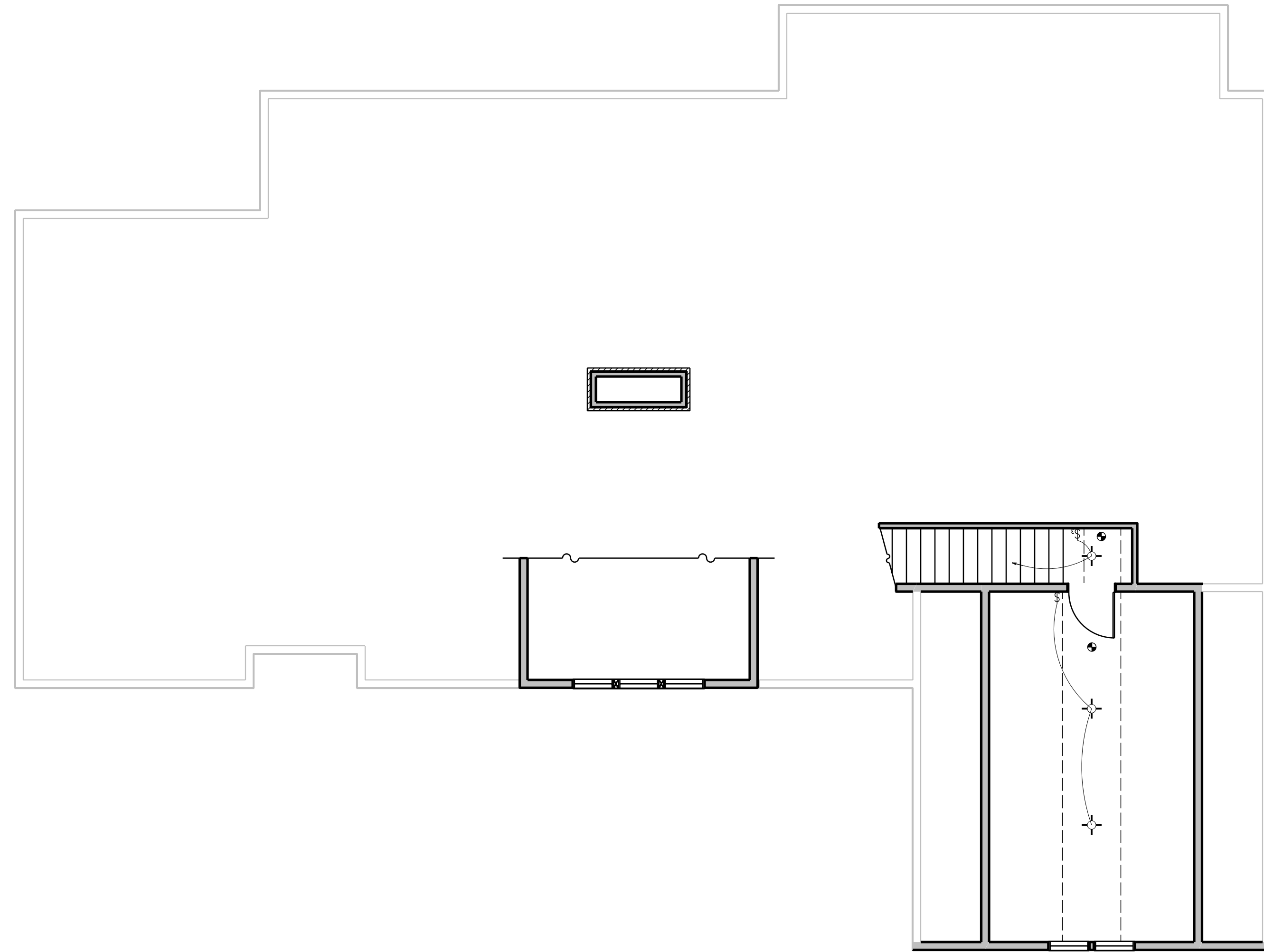


5 TYPICAL WALL SECTION
 SCALE: 3/8" = 1' 0"

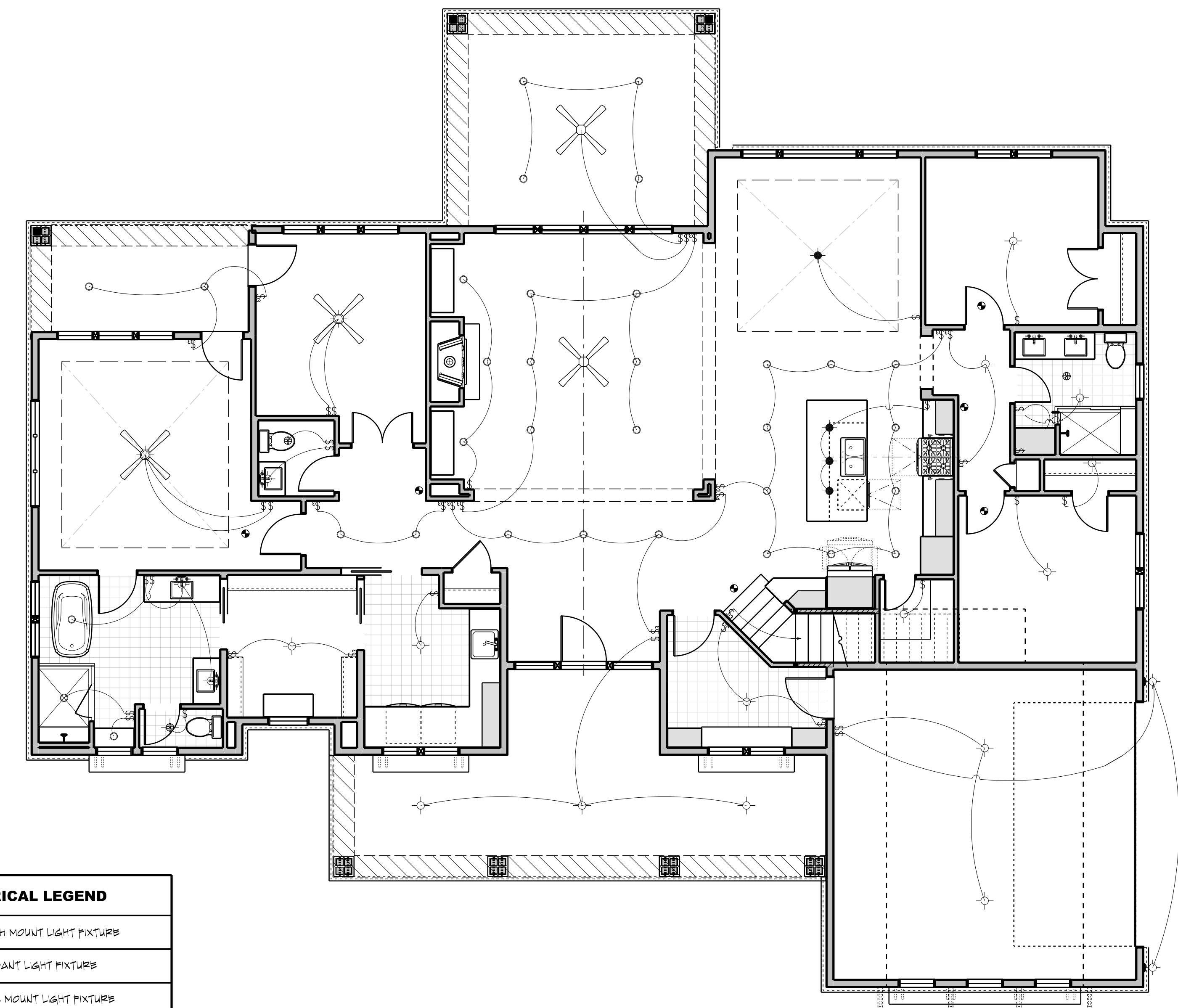


AREA TABULATION	
MAIN LEVEL	2419 SF
BONUS ROOM UNFINISHED	280 SF
TOTAL FINISHED	2419 SF
TOTAL LIVABLE	2699 SF
GARAGE	408 SF
FRONT PORCH	324 SF
REAR PORCH	245 SF
REAR PORCH 2	100 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR SHEATHING AT FRAMED WALLS.
STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.



2
E1.1 BONUS ROOM ELECTRICAL PLAN
SCALE: 3/16" = 1' 0"



1
E1.1 MAIN LEVEL ELECTRICAL PLAN
SCALE: 3/16" = 1' 0"

ELECTRICAL LEGEND	
	FLUSH MOUNT LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	UNDER CABINET LIGHT FIXTURE
	SMOKE/CO2 DETECTOR
	EXHAUST FAN/LIGHT COMBO
	FAN/LIGHT COMBO FIXTURE

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ELECTRICAL PLANS

8 E1.1 8

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